
Chapter 7

STANDARDS AND REQUIREMENTS FOR REQUIRED PUBLIC IMPROVEMENTS

Article 7.1

PARKS, SCHOOLS AND PUBLIC AREA CONTRIBUTIONS

- 7.1.1. Title.** This Section shall be cited and referred to as the "Richmond Developer Donation Ordinance."
- 7.1.2. Purpose.** Dedication of land for park and school facilities or money in lieu of land or a combination of both land and money, proportionate to the need generated by the new development.
- 7.1.3. School Contribution.** A dedication of land for school facilities or money in lieu of land or a combination of both land and money, proportionate to the need generated by the new development based on the maximum number of dwelling units and square footage as platted on the plan presented shall be made to the school districts. All sites shall be dedicated in a fully improved condition ready for full service of electric, gas, water, sewer, sidewalks, streets and storm drainage, as applicable to the location of the site. Such land shall be conveyed; free and clear of all liens and encumbrances and any easements, conditions, covenants and restrictions of record shall be acceptable to the School Districts. (*Ordinance 2002-3, 02.06.02*)
- A. In the event a land dedication is deemed impractical by the School Districts, a cash contribution, in an amount equal to the full market value of improved land, as hereinabove described, shall be made. Said amounts shall be as follows: \$658 per residential dwelling unit plus \$1.65 per square foot of living space with increases annually as follows. The lesser of (i) the amount of the general increase; or (ii) the amount of the percentage increase of the Consumer Price Index (hereinafter defined) for the previous calendar year; provided such fees are increased uniformly for all property and development in the Village. Consumer Price Index ("CPI") means the U.S. City Averages for all Urban Consumers, All Items, (1982-1984=100) of the United States Bureau of Labor Statistics. The CPI for any calendar year shall be determined by averaging the monthly indices for that year. If the Bureau of Labor Statistics substantially revises the manner in which the CPI is determined, an adjustment shall be made in the revised index which would produce results equivalent, as nearly as possible, to those which would be obtained if the CPI had not been so revised. If the 1982-1984 average shall no longer be used as an index of 100, such change shall constitute a substantial revision. If the CPI becomes unavailable to the public because publication is discontinued or otherwise, the Village shall substitute therefore a comparable index based upon changes in the cost of living or purchasing power of the consumer dollar published by any other governmental agency or, if no such index is available, then a comparable index published by a major bank, other financial institution, university or recognized financial publication. (*Ordinance 2002-3, 02.06.02*)
- B. As a condition of approval of any final plat of subdivision, any Planned Unit Development (PUD) or similar final approval of any development in the Village or within the 1-1/2 mile planning jurisdiction of the Village, a dedication of land for school purposes shall be required or a cash contribution in lieu of land shall be made in the amounts hereinabove indicated. The Village Board may, by specific resolution, defer the payment of cash contributions in lieu of land for parcels within the corporate limits of the Village, to the time of issuance of building permits.
- C. EXISTING LOTS OR PARCELS. As to any existing multifamily zoned lots or parcels upon which no school donation has been made, the cash contribution shall be made at time of issuance of building permit.

- D. PAYMENT. Subject to the execution of indemnification agreements entered into by the Village and the school districts, the donation of land or cash contribution in lieu of land shall be made as follows: payment of the full amount shall be made to School District 2 (Nippersink School District), which shall distribute one-third of said contributions to School District 157 (Richmond-Burton Community High School District). The Village Clerk shall be provided with documentation from said school districts of the donation of land or cash contribution prior to the Village's approval of any final subdivision or the issuance of a building permit as described in Section 7.1.3.B. (*Ordinance 2000-27. 07.05.00*)
- E. USE OF FUNDS. Contributions in lieu of land and accrued interest thereon shall be held in a special fund by the school district and used only for the acquisition of land or the construction of a school or an addition to an existing school facility so long as said land, building, and/or additions are constructed in areas that may be attended by children of the subdivision making the contribution.
- F. In the event the school district receives a land contribution that is not used for school facilities and said land is subsequently sold, the proceeds of said sale shall be used for acquisition of land or to build school facilities as specified in this Ordinance.

7.1.4. Park Lands Contribution.

- A. As a condition of approval of any final plat of subdivision, final approval of a Planned Unit Development (PUD) or final approval of any similar development within the jurisdiction of the Village of Richmond, the dedication of land for park purposes shall be required or a cash contribution in lieu of land shall be made.
- B. Computation of the amount of land to be donated shall be based upon one acre per 100 total population estimated to be generated by the development, or a monetary contribution in lieu of land in the amount of \$1,818.00 per dwelling unit. (*Ordinance 2007-5*)
- C. The Village may defer all or portions of said payment to time of issuance of building permits and in the event of multiple dwelling parcels, the amount due shall be the maximum density allowed pursuant to the Village Ordinance at time of final approval of subdivision and/or Planned Unit Development.
- D. Land set aside by developers for parks and recreational purposes shall not be what has been left over after residential, commercial and industrial development. The slope, topography and geology of the dedicated site as well as its surroundings must be suitable for active recreation. Wetlands, flood plains, detention areas, retention areas and areas of steep slope shall not be accepted as park sites and shall not serve as a credit toward the required cash contribution in lieu of land dedication. (*Ordinance 2007-5*)
- E. Due cognizance shall be given by the Village where the development plan encompasses parks and/or municipal facilities which may decrease the uses of other public parks and/or facilities.

7.1.5. Fire Prevention and Life Safety Donations.

- A. PURPOSE. The purpose of this Section is to ensure that the needs of the Richmond Township Fire Protection District ("District") or any other fire protection district within the corporate or planning jurisdiction of the Village is maintained, given the expansion of the community in conjunction with the limitations of the Property Tax Cap Act.
- B. FINDINGS. The Village recognizes that residential, commercial and industrial growth impacts the Richmond Township Fire Protection District. Unlike other governmental services, such as education and recreational activities, new construction impacts the service of fire protection and life safety prior to the issuance of certificates of occupancy. Fire district personnel are often called to construction sites to provide District services including, but not limited to, paramedic services, construction fires and utility problems. As with other governmental services, fire protection is received after the issuance of occupancy permits.
- C. FIRE PROTECTION CONTRIBUTION. Regardless of whether the donation is land or cash in lieu of land, the Village encourages the District and property owner to execute an independent contract for a fire protection and life safety donation. The Village recognizes that individual developments, whether commercial, residential or industrial, present unique problems relative to fire protection

and life safety needs. The Village, therefore, encourages the property owner and the District to address those needs via separate contractual arrangements.

In the event a donation fee is in the form of land, said land shall be dedicated in a fully improved condition ready for full service of electric, gas, water, sewer, sidewalks, streets and storm drainage, as applicable to the location of the site. Such land shall be conveyed free and clear of all liens and encumbrances and any easements, conditions, covenants and restrictions of record shall be acceptable to the District.

Should a land dedication be deemed impracticable or otherwise unfeasible by the District, and the aforementioned agreement has not been reached, the following donation shall be made:

1. For each residential dwelling unit (including, but not limited to, townhouse, apartment, single-family house) the donation shall be two hundred fifty dollars (\$250.00).
2. For commercial and industrial uses, the donation shall be .04 cents per square foot of construction, both above and below grade, not to exceed one thousand dollars (\$1,000.00).

The donation shall be a condition of approval of any final plat of subdivision or final plat of a planned development located within the planning jurisdiction of the Village. The Village Board may, on its own initiative or pursuant to the request of the property owner, by special resolution, defer the donation of land or cash in lieu thereof to the time a building permit is issued.

In the event an agreement is not reached between the property owner and the District, the donation required herein shall be collected by the Village, who shall remit same to the District.

The owner of any lot, parcel or tract of land which has been subdivided, but not yet developed, shall pay to the Village a cash contribution of \$250.00 per residential dwelling unit and .04 cents per square foot of commercial or industrial building size, both above and below grade, not to exceed \$1,000.00, for fire protection and life safety purposes upon the issuance of a building permit. Said fee shall be paid to the Village, who shall then remit the fee to the District.

- D. INDEMNIFICATION AGREEMENT. In the event an Agreement Regarding the Receipt of Developer Subdivision Contributions, (Ordinance 1998-13), is not entered into by the District, the Village shall be not obligated to collect any donation required in this Section 7.1.5.

7.1.6. Library Donation.

- A. As a condition of approval of any final plat of subdivision, final approval of a Planned Unit Development (PUD), or final approval of any similar residential development within the Village of Richmond or its planning jurisdiction, a cash contribution of two hundred fifty dollars (\$250.00) per dwelling unit shall be paid to the Nippersink Public Library District to serve the immediate and future needs of the residents of said development.
- B. Developer or contractor shall show proof of such donation prior to issuance of a building permit.
- C. The Library Donation is further conditioned upon the Nippersink Public Library District entering into an Indemnification and Hold Harmless Intergovernmental Agreement with the Village of Richmond. (*Ordinance 2007-5*)

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Article 7.2

Improvement of Certain Thoroughfares and Appurtenances.

7.2.1 Purpose. In order to provide a coordinated well-planned thoroughfare network and utility system in the Village, it may be necessary for certain subdividers/developers to provide certain public improvements along one of more frontages of their property. This Article provides the methodology for determining the manner in which subdividers/developers and the Village may be reimbursed for certain expenses in connection with such improvements.

7.2.2. Required Improvement. Where any parcel of land fronts upon or abuts any existing or proposed major or collector thoroughfare as shown on the Official Map of the Village, and where any subdivision or improvement of such parcel will be served by any such thoroughfares, and where any of such thoroughfares have not been opened and improved in accordance with its designation on the Official Map, or if existing, is not improved in accordance with the standards and specifications contained and prescribed in this Ordinance for such designation, then the subdivider or developer shall be required to improve such thoroughfare for the entire length adjacent to such parcel in accordance with the standards specifications of this Ordinance pertaining to such thoroughfare as it is designated on the Official Map. Such required improvement shall include the base course and surface course of the roadway, curbs, gutters, street trees, sidewalks, water main, sanitary sewer, storm water sewer, street lighting and appurtenant facilities constructed in accordance with the terms of these regulations.

7.2.3. Payment in-lieu-of Improvements. Any subdivider or developer required to improve a thoroughfare pursuant to Subsection 7.2.2 hereof, may, at the Village’s option, agree to pay to the Village, for the cost of such improvement as part of a coordinated program, an amount determined by the following formula:

$$\frac{\text{TOTAL COST OF VILLAGE PROGRAM TO IMPROVE ROADWAY}}{\text{TOTAL NUMBER OF FEET OF ROADWAY IMPROVED}} \times \text{NUMBER OF FEET OF ROADWAY ADJACENT TO PARCEL}$$

7.2.4. Right to Reimbursement from Later, Adjacent Developer or Subdivider. A subdivider or developer required to improve a thoroughfare pursuant to Subsection 7.2.2 hereof shall be entitled to reimbursement for a portion of his expenses for such improvement, or payments pursuant to Subsection 7.2.3 attributable thereto, from any subdivider or developer who shall subsequently seek to subdivide or improve any parcel of land adjacent said thoroughfare and fronting upon any part of said thoroughfare which has been previously improved either by the former subdivider or developer pursuant to Subsection 7.2.2 or with funds paid by him pursuant to Subsection 7.2.3.

A. **AMOUNT OF REIMBURSEMENT.** Any reimbursement due pursuant to Subsection 7.2.4 shall be computed on the basis of the following formula together with interest on such amount at the rate of six-percent (6%) per annum, compounded annually, from the date of the completion of the improvement by the prior subdivider/developer or his payment to the Village pursuant to Subsection 7.2.3 to the date of payment hereunder by the subsequent subdivider/developer; provided, however, that such interest shall in no event exceed thirty-three-percent (33%) of the original principal amount:

$$\frac{\text{TOTAL COST OF IMPROVEMENT TO FIRST SUBDIVIDER / DEVELOPER}}{\text{NUMBER OF FEET OF ROADWAY IMPROVED BY FIRST SUBDIVIDER / DEVELOPER}} \times \frac{\text{NUMBER OF FEET OF ROADWAY IMPROVED BY FIRST SUBDIVIDER / DEVELOPER WHICH ARE ADJACENT TO PARCEL OF SUBSEQUENT SUBDIVIDER / DEVELOPER}}{\text{NUMBER OF FEET OF ROADWAY IMPROVED BY FIRST SUBDIVIDER / DEVELOPER}}$$

B. **DUTY TO REIMBURSE PRIOR DEVELOPER OR SUBDIVIDER.** When any subdivider/developer should be required to improve any thoroughfare pursuant to Subsection 7.2.2 hereof, but for the fact that such thoroughfare has been previously improved by a prior subdivider/developer

pursuant to Subsection 7.2.2 hereof, such subsequent subdivider/developer shall pay to the Village, solely for the purpose of reimbursing such prior subdivider/developer, an amount as determined by the formula set out in Subsection 7.2.4.A.

- C. DUTY OF THE VILLAGE TO PAY OVER. Whenever the Village shall receive any funds pursuant to Subsection 7.2.4.A, it shall receive them solely for the benefit of the subdivider/developer entitled thereto and shall promptly pay them over to such subdivider/developer or his designated agent.
- D. DUTY TO REIMBURSE THE VILLAGE. When any subdivider/developer would be required to improve any thoroughfare pursuant to Subsection 7.2.2 hereof except for the fact that such thoroughfare has previously been improved by the Village, solely as reimbursement for such improvement, said subdivider/developer shall be required to pay an amount as determined by the following formula together with interest on such amount at the rate of six-percent (6%) per annum, compounded annually, from the date of the completion of the improvement by the prior subdivider/developer or his payment to the Village pursuant to Subsection 7.2.3 to the date of payment hereunder by the subsequent subdivider/developer; provided, however, that such interest shall in no event exceed thirty-three-percent (33%) of the original principal amount:

$$\frac{\text{TOTAL COST TO VILLAGE OF IMPROVING THOROUGHFARE FOR LENGTH OF SUBDIVIDER / DEVELOPER'S PARCEL FRONTING ON AND ABUTTING SAID THOROUGHFARE}}{1} \times \frac{1}{2}$$

- E. SUBDIVIDER/DEVELOPER'S PRIOR RIGHT TO REIMBURSEMENT. When any thoroughfare subject to this Section has been improved s part of a coordinated program through the use of Village funds and funds paid by one of more subdividers/developers pursuant to Subsection 7.2.2 any funds received by the Village as reimbursement from any subsequent subdivider/developer pursuant to Subsection 7.2.4.D shall be paid over to any former subdivider/developer contributing to the coordinated program up to one-half of their payments pursuant to Subsection 7.2.2. Such payments to any such subdivider/ developer shall be computed in accordance with the following formula:

$$\frac{\text{AMOUNT CONTRIBUTED BY SPECIFIED SUBDIVIDER / DEVELOPER}}{\text{AMOUNT CONTRIBUTED BY ALL SUBDIVIDERS / DEVELOPERS}} \times \text{AMOUNT AVAILABLE FOR PAYMENT}$$

Any such payment to a subdivider/developer shall reduce, dollar for dollar, the reimbursement to which it might otherwise be entitled under the terms of this Section and by such payment the Village shall be subrogated, dollar for dollar, to the right of such subdivider/developer for reimbursement. In interpreting this Subsection, it shall be assumed to be the intent of the Village Board that each subdivider/developer which is, or might become, entitled to a reimbursement pursuant to this Section 7.2.1 shall receive such reimbursement in full before the Village shall receive any reimbursement to which it is, or might become, entitled in connection with the improvement of any thoroughfare subject to this Section.

7.2.5. Other Provisions. Nothing in this Article 7.2 shall be taken nor construed in any manner to vest in any person, firm or corporation any proprietary rights to any roadway presently owned by the Village, nor to relieve or excuse any subdivider/developer, owner from the provisions of these regulations pertaining to the dedication of any thoroughfare, whether or not such thoroughfare is subject to the provisions of this Article 7.2.

7.2.6. Sewer Connection Permit Required. In addition to any other requirements or prohibitions of these regulations, no subdivider/developer, no owner, nor any contractor, agent or other representative thereof, shall connect to any storm drain or sewer constructed in whole or in part by the Village or any subdivider/developer pursuant to the provisions and requirements of this Article 7.2 without first securing a permit for such connection from the Village. The application for such permit shall be

proof of compliance with all applicable terms of this Article 7.2, including payment of any monies due hereunder or provision for such payment satisfactory to the Village. Any connection made without such permit shall be subject to disconnection by the Village at the expense of the subdivider/developer responsible for compliance with the terms of this Article 7.2. Nothing herein shall be taken to relieve the subdivider/developer, any owner of liability for violations of this Article 7.2.

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Article 7.3

Standards and Specifications for Required Public Improvements

- 7.3.1. STORM WATER MANAGEMENT FACILITIES REQUIRED.** Any person subdividing or developing property shall provide storm water management facilities on property. Storm water management facilities, which may consist of storm water sewers, open ditches, and storm water storage, and other appurtenances, shall be provided on any lot or parcel being developed or subdivided in the Village or within the Village’s extraterritorial jurisdiction in accordance with the following standards, specifications and requirements.
- A. Storm water drainage systems shall be designed in accordance with the Village Municipal Code Chapter 30 “Storm Water Control.”
 - B. Storm sewer connections shall be provided for each commercial or industrial building site.
 - C. Illinois Department of transportation Standard Specifications for Road and Bridge Construction shall govern the work.
 - D. Storm sewers shall have a minimum diameter of twelve (12) inches and shall meet the requirements for “Class B” of Article 550.03 of the IDOT Standard Specifications.
 - E. Manholes, catch basins and inlets shall be pre-cast concrete, see Design Manual, Appendix C-3.

7.3.2. SANITARY SEWER COLLECTION SYSTEM REQUIRED. Any person subdividing or developing property shall provide sanitary sewer collection system improvements to serve the property. The sanitary sewer collection system shall be provided in accordance with the following standards, specifications and requirements.

- A. **SANITARY SEWER COLLECTION SYSTEM STANDARDS.** All sanitary sewers shall comply with the following minimum specifications:
 - 1. **SYSTEM DESIGN.** All sanitary sewage flows shall be based on the currently adopted land use plan for the area to be developed. Design of the sanitary sewer collection system shall conform to the Illinois Recommended Standards for Sewage Works, 1996 edition, effective May 1996. Sanitary sewer shall be extended to all upstream property lines.
 - a. **TYPES OF FLOW PERMITTED.** Sanitary sewers and storm sewers shall be kept completely separate; no combined sewers shall be designed or constructed. Footing drains, downspouts, untreated air-conditioning water outfall, etc. shall not discharge to the sanitary sewer system.
 - b. **PROTECTION OF WATER SUPPLIES.** The provisions in SSWSMCI regarding the separation of water and sewer facilities shall be strictly adhered to.
 - c. **Minimum slope of the terminal end of a sewer shall be 0.80 feet per one hundred (100) feet.**
 - 2. **MATERIAL STANDARDS AND SPECIFICATIONS.**
 - a. **SANITARY SEWERS.** Sewer pipe eight (8) inches through twelve (12) inches internal diameter shall be limited to PVC SDR 26 except in specific locations where the Village Engineer may recommend the use of other materials. Sewer pipe fifteen (15) inches and larger shall be of ductile iron or such material as recommended by Village Engineer. Sanitary sewer pipe bedding shall be provided as shown in Design Manual Appendix C-2.6.
 - b. **SANITARY SERVICE LINES.** Service connections shall be by "wye" fittings (see Design Manual Appendix C-4). The minimum pipe size for sanitary sewers shall be eight (8) inches in diameter. Service wyes shall be installed wherever a residential service is anticipated.
 - c. **Minimum slope for house services shall be 1.00 feet per one hundred (100) feet.**
 - d. **Service locations shall be marked with a two (2) inch high "S" stamped in the curb where the service crosses under the curb.**
 - 3. **MANHOLES.** Manholes shall be pre-cast concrete. Cast iron ladder irons shall be provided (see Design Manual, Appendix C-4.1). Manhole frames and covers shall meet the requirements of the Illinois Department of Transportation Standard Specifications for Road and Bridge Construction and shall be Type 1, weighing four hundred thirty (430) lbs
 - 4. **LIFT STATIONS.** Design of lift stations and selection of pump equipment and controls shall be as specified by the Village.
- B. **TESTING REQUIREMENTS.** Sanitary sewers shall be tested in accordance with the standards required and approved by the Village Engineer.

7.3.3. WATER DISTRIBUTION SYSTEM STANDARDS AND SPECIFICATIONS. Any person subdividing or developing property along a street frontage shall provide water distribution system improvements along the frontage of the property or along any new streets being constructed. Water mains, valves, fire hydrants, services and other appurtenances shall be provided in accordance with the standards, specifications and requirements as follows.

- A. **WATER MAIN STANDARDS.** All water mains shall comply with the following minimum specifications:
1. **SYSTEM DESIGN.** Water mains shall be extended to the limits of the subdivided parcel and shall be looped or cross-connected as determined by the Village Engineer.
 - a. **DEAD ENDS.** All water mains shall be looped, that is having two separate connections to the distribution system. Dead end water mains shall be prohibited.
 - b. **WATER MAIN LOCATIONS.** Water mains shall be located in the public right-of-way, in the tree bank seven (7) feet behind the curb. If the curb and/or public sidewalk do not exist, the water main shall be located as if they do exist. The Village Engineer must specifically approve all other locations for proposed water mains. When it is necessary to locate a water main on private property, it shall be constructed in a recorded easement extending no less than five (5) feet on either side of the main. No water main shall be located under, nor within fifteen (15) feet of, any existing or potential building. An easement wider than specified above will be required when the standard building setback does not ensure a fifteen (15) foot clearance.
 - c. **WATER MAIN DEPTH.** The minimum depth of bury, measured from the top of the water main to the finished ground surface, shall be five and one-half (5.5) feet.
 - d. **WATER MAIN GRADE.** Where both ends of a section of main are at a lower elevation than an intermediate point, a means of releasing entrapped air must be provided at the summit of the “hill”. Where both ends of a section of main are at a higher elevation than an intermediate point, a means of flushing out sediment must be provided at the bottom of the “valley”. Air release valves shall be provided at high points unless other means of bleeding air from the main are available.
 - e. **CURVES ON WATER MAINS.** The minimum radii for pipeline curves (horizontal, vertical, or oblique) which may be constructed by deflection the pipe at its joints shall be as specified in AWWA Standard C600 for twenty (20) foot long pipe sections. The curve radii shall be measured in the planes defined by the centerlines of the pipe sections. Curves with radii smaller than the specified minimums shall be constructed using fittings (bends and/or offsets), and the locations of the fittings must be shown on the detailed plans. Any bends twenty-two and one-half degrees (22.5°) or greater shall have a poured concrete thrust block poured against undisturbed earth (See Design Manual, C-5.6).
 - f. **PROVISIONS FOR FUTURE EXPANSION.** Where, in the opinion of the Village Engineer, a proposed water main might be extended in the future, the following provisions shall be made to permit such an extension without interrupting service to existing customers. The water main shall extend to the boundary of the property proposed for development; The terminal pipe section shall be full-length, and a plug and thrust block shall be installed on its downstream end; A valve shall be installed on the upstream end of the terminal pipe section, twenty (20) feet from the boundary of the

property; and no service branches or fire hydrants shall be connected to the terminal pipe section.

- g. VALVES. Three (3) valves shall be installed at each cross juncture of water mains, two (2) valves at each tee juncture, and one (1) valve on each hydrant branch or service branch larger than one (1) inch. Additional mainline valves shall be installed as needed so that no more than one thousand (1,000) feet of main will be involved in any shut-off. Mainline valves shall be arranged so that no more than four (4) need be closed to isolate any section of the main. Valves located near street intersections shall be placed on the projections of the right-of-way lines; valves located between street intersections shall be placed on property line projections.
- h. FIRE HYDRANTS. Hydrants shall be spaced to provide a maximum of three hundred fifty (350) feet between fire hydrants. The Village Engineer shall approve all fire hydrant spacing and locations.
- i. WATER SERVICE BRANCHES. Every property having frontage along a water main shall be provided with a service branch connection when the main is constructed unless the property has an existing service connection to another main along which the property fronts. No service branch shall serve more than one (1) property or premises.
 - 1. Water services shall be of copper or ductile iron and shall be a minimum size of one (1) inch diameter. The maximum size tap permissible in the barrel of the cast iron main shall be as follows:

<u>Main Size</u>	<u>Tap Size</u>
8"	1-1/4"
10"	1-1/2"
12"	2"
14"	2"
16"	2-1/2"

When a service requires a size larger than allowed above, the connection shall be made by use of proper fittings to protect the main. Services greater than two and on-half (2.5) inches shall be of ductile iron and shall be tapped under pressure with tapping sleeve and vault. Multiple taps and use of a branch gooseneck or "tree connections" are to be avoided. Customer water service lines shall be stubbed from the water main to the nearest private property lot line for each platted lot, adjoining lot, tract or building site.

- 2. Service locations shall be marked with a two (2) inch high "W" stamped in the curb where the service crosses under the curb.
- 2. WATER MAIN SIZE. The minimum diameter for any water main shall be eight (8) inches nominal diameter. All water mains shall be sized to satisfy the anticipated local water demand plus fire flow under the conditions specified below.
 - a. Water mains shall be so sized that the pressure under maximum flow conditions is not less than twenty-five (25) pounds per square inch in all parts of the main addition or extension. In addition, the velocity at maximum flow shall be no more than ten (10) feet per second. Maximum flow conditions shall be twice the anticipated average daily local demand rate plus fire flow.

- b. Fire flow shall be based on providing a minimum flow of one thousand five hundred (1500) gallons per minute and maintaining a minimum residual pressure of twenty five (25) pounds per square inch in the main.
- B. MATERIAL STANDARDS AND SPECIFICATIONS. All construction of water distribution system improvements shall be designed and materials used shall be in accordance with the following:
 1. All valves shall be in pre-cast valve vaults (See Design Manual).
 2. All materials shall meet current AWWA Standards as a minimum. (See Material Standard List for approved manufacturers and materials.)
 3. All gate valves shall be Mueller or approved equal. (See Material Standard List)
 4. All fire hydrants shall be Waterous or approved equal. (See Material Standard List)
 5. AWWA Specifications C-600 shall be the minimum specification for the installation of water mains
 6. All watermains shall be ductile iron pipe, cement lined, ASA thickness Class 52.
 7. AWWA Specification C-601 shall be a minimum for the procedure used in disinfecting mains.
 8. All water mains shall be tested at one hundred twenty five (125) pounds per square inch with no allowable leakage.

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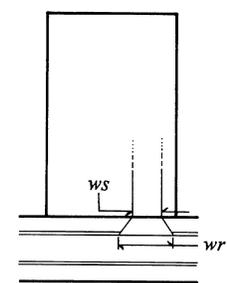
7.3.4. STREETS REQUIRED. Any person subdividing or developing property shall provide public street improvements along the frontage of the property, if none already exist, or to any new lots, parcels, tracts of land being created. All streets shall be provided in accordance with the following standards and specifications:

- A. THOROUGHFARE STANDARDS AND SPECIFICATIONS. All thoroughfares shall comply with the following standards, specifications and criteria:
 1. GENERAL DESIGN CRITERIA.
 - a. NETWORK CONNECTIVITY. All thoroughfares shall be laid out to provide multiple routes within and between neighborhoods in the Village, and shall be designed to accommodate motor vehicles, bicyclists, and pedestrians. All thoroughfares shall be located in relation to existing and planned thoroughfares, to topographical conditions, to public convenience and safety and to the proposed uses of the land to be served by such thoroughfares. If the Comprehensive Plan or Official Map makes no provision therefore, the arrangements of thoroughfares shall either provide for the continuation of appropriate projections of existing thoroughfares in the surrounding area, or conform to a plan for the adjacent area adopted by the Village to meet a particular situation where topographical or other conditions make continuance or conformance to existing thoroughfare impracticable. Where unsubdivided land adjoins the proposed subdivision or Planned Development, provisions shall be made for the extension of one or more thoroughfares into each such unsubdivided area in order to provide a seamless connection between neighborhoods and to maximize circulation choices and options for the public and public safety.
 - b. HALF-STREETS. Half-streets are not permitted. When any parcel or part of a parcel is adjacent to only one side of an existing right-of-way, which is less than the required width required by this Title or the Official Map, the subdivider/ developer shall dedicate additional right-of-way to satisfy the minimum right-of-way specifications of this Section.
 - c. DEAD-END STREETS. Permanent dead-end streets shall be discouraged where a reasonable substitute for dead-end streets exists. Where a dead-end street is of a temporary nature, awaiting its extension into adjoining undeveloped land, a temporary cul-de-sac or T-turnaround may be permitted. All land needed for a temporary cul-de-sac or T-turnaround shall be subject to a temporary public access easement. Easements for utilities shall be permanent unless the owner agrees to move any utilities installed within turn around right-of-way.
 - d. CUL-DE-SAC. Cul-de-sac streets shall only be permitted where topographical or geographical features such as rivers, streams and cliffs and fixed features such as railroads and limited access highways preclude continuation or connection of streets. Whenever a cul-de-sac is permitted, such street shall be no longer than six hundred and sixty (660) feet and shall be provided at the closed end with a turnaround complying with the specifications in Design Manual Exhibit __. The Village reserves the right to require a greater turnaround diameter in commercial or industrial subdivisions if it is deemed necessary.
 - e. Where a parcel abuts or contains an existing or proposed limited access thoroughfare, the Plan Commission may require alternative lot and thoroughfare configurations to avoid creating double frontage lots or cul-de-sacs.
 - f. PRIVATE STREETS. Private streets or thoroughfares are discouraged.

- g. RAILROADS. If a railroad is involved, the subdivision plan should:
 - 1. Be so arranged as to permit, where necessary, future grade separations at highway crossings of the railroad. Crossings shall be designed to be at right angles.
 - 2. Border the railroad with a parallel street at a sufficient distance from it to permit deep lots to go back onto the railroad; or form a buffer strip for park, commercial or industrial area.
- h. LAND NOT PLATTED. Where the plat to be submitted includes only part of the tract owned by the subdivider/developer, the Plan Commission may require topography and a sketch of a tentative future thoroughfare network of the unsubdivided portion.
- i. PHYSICAL AND CULTURAL FEATURES. In general, thoroughfares shall be designed with appropriate regard for topography, creeks, wooded areas, and other natural features which would lend themselves to attractive treatment. (See Village of Richmond Comprehensive Plan.)
- j. ALLEYS. Where required or permitted, alleys shall be designed to remain short in distance and have at least two points of connection to another alley or street.
- k. THOROUGHFARE INTERSECTION STANDARDS AND SPECIFICATIONS. All thoroughfare intersections shall comply with the following standards, specifications and criteria:
 - 1. GENERAL DESIGN CRITERIA.
 - i. No more than two (2) streets should intersect at any one point. The intersection of more than two streets shall be avoided unless specific conditions of design dictate otherwise.
 - ii. Streets shall be designed to intersect, as nearly as possible, at right angles. A proposed intersection of two streets at an angle of less than seventy-five degrees (75°) shall not be acceptable. When this criterion cannot be satisfied, the centerlines shall intersect at right angles by means of curves.
 - iii. All street intersections and confluences should be designed to provide safe traffic flow.
 - iv. Proposed new intersections along one side of an existing street shall, wherever practical, coincide with any existing intersections on the opposite side of such street. Street jogs with centerline offsets of less than one hundred fifty (150) feet shall not be permitted, unless recommended by the Commission and/or approved by the Village Board.
 - v. Intersections shall have a minimum curb radius as specified in Section 7.3.4.B.
 - vi. Where any corner lots at street intersections create a traffic hazard by limiting visibility, the subdivider/developer shall cut such ground and/or vegetation, including trees, in connection with the grading of the public right-of-way to the extent deemed necessary to provide adequate sight distance.

2. HIGHWAY AUTHORITY APPROVALS. Where a development or a new subdivision involves frontage on an existing State or County Highway, access approval must be obtained from the respective highway authority, in addition to the Village. The Village may withhold final approval until the highway authority has provided its approval for access.
2. GRADES. Subdividers/developers shall recommend the grades at which thoroughfares and alleys within the platted area shall be constructed. Such grades are subject to review by the Village Engineer and final approval of the Village Board. All thoroughfares shall be graded to the full width of the right-of-way and the adjacent side slopes shall be graded to blend with the natural ground level. The maximum grades and vertical curves shall not exceed those specified in Section 7.3.4.B for each thoroughfare type. Visibility especially at intersections and sight distance shall be resolved in detail with the Village Engineer.
3. CURB AND GUTTER. Curb and gutter shall be installed, as required in Section 7.3.4.B, on all roadways being dedicated for public use. Combination Portland Cement Concrete Curb and Gutters shall be installed and shall meet the current Illinois Department of Transportation Standard Specifications for Road and Bridge construction.
 - a. Expansion Joints shall be 3/4" preformed Type 1 cork ASTM Spec. D-544 and shall be installed at one hundred (100) feet intervals and at points of curvature and tangency on all curves.
 - b. Contraction joints shall be saw-cut at ten (10) foot intervals.
4. STREET SURFACING STANDARDS. All roadways shall be surfaced from curb to curb with bituminous concrete or Portland Cement Concrete and comply with the following:
 - a. All pavements shall be designed in accordance with the State of Illinois manuals on the Structural Design of Bituminous Pavements or Portland Cement Pavements. Porous paving materials are encouraged and must be approved by the Village Engineer.
 - b. The minimum Structural Design Number for public street subgrade shall be 3.0. For minimum pavement cross-section, see Exhibit C-1.1 and C-1.2. Permissible pavement construction within the Village shall consist of either bituminous aggregate mix with bituminous concrete surface course Class I or Portland cement concrete pavement with pavement fabric and with 3/4" preformed cork expansion joints at intervals of not more than one hundred (100) feet as well as all points of curvature.
 - c. Pavement design thickness computations shall be provided to the Village Engineer for concurrence of design but shall not be less than seven (7) inches.
 - d. Pavements shall be constructed parallel to and centered within the dedicated right-of-way.
 - e. Cross-slope of the pavement shall be a minimum of 0.02 feet per foot.
 - f. The length of vertical curves shall be in accordance with State of Illinois Highway Standards based on the desirable sight distances for the design speed. Lengths shall be based on a stopping sight distance of two hundred (200) feet ($k = 0.30$) with a minimum length vertical curve of one hundred fifty (150) feet.
 - g. Radii for horizontal curves shall be in accordance with the State of Illinois Highway Standards based on the design speed for the roadway.

- h. The “Standard Specifications for Road and Bridge Construction” of the State of Illinois Department of Transportation shall be the minimum specification for the installation of pavements and sidewalks.
5. ALLEY SPECIFICATIONS. In addition to the standards for Type 1 thoroughfares as specified in Section 7.3.1.B, all alleys, where used, shall comply with the construction and material specifications set forth by the Village Engineer.
6. DRIVEWAY, PARKING LOT AND ALLEY APPROACH SPECIFICATIONS. For the purpose of this Section, a driveway, parking lot and alley approach shall mean that portion of a driveway, parking lot and alley located in the public right-of-way. All driveway, parking lot and alley approaches shall comply with the following standards, specifications and criteria:
- a. GENERAL DESIGN CRITERIA.
 - i. GRADE. Every driveway, parking lot and alley approach shall slope uniformly from the inside edge of the sidewalk to the back of the curb and shall not exceed ten-percent (10%).
 - ii. LOCATION. All driveway, parking lot and alley approaches shall be located to provide the maximum practicable distance from the intersection of any thoroughfares.
 - iii. NUMBER. One (1) driveway and parking lot approach will be permitted for each lot. The Plan Commission may recommend and the Village Board may approve more than one driveway for a lot for non-residential uses.
 - iv. WIDTH. The maximum width of a driveway, parking lot and alley approach shall be twenty (20) feet at the property or right-of-way line, and twenty-four (24) feet at the curb or pavement edge.
 - v. DRAINAGE. No parking lot runoff shall be diverted to any street through a driveway, parking lot or alley approach. Every parking lot shall be provided with facilities to control the discharge of storm water runoff as described in this Title.

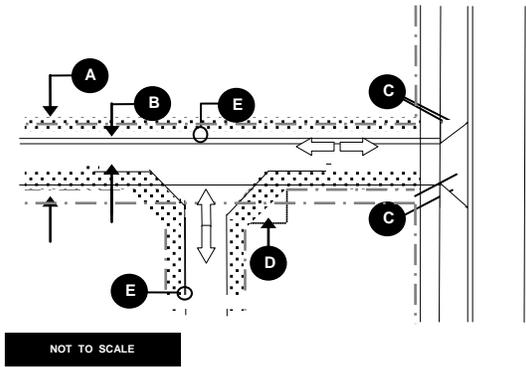


Driveway Width:
 (ws) width at street line
 (wr) width at roadway

- b. MATERIALS AND CONSTRUCTION SPECIFICATIONS.
 - i. The driveway and parking lot approach extending from the back of curb to the property line shall be constructed of six (6) inch thick non-reinforced Portland Cement concrete, conforming with the requirements of IDOT-SSRBC, or a two (2) inch Class B bituminous concrete surface on a ten (10) inch aggregate base, with all materials conforming with the requirements of IDOT-SSRBC.
 - ii. No gravel surfaced driveway and parking lot approaches are permitted.

- B. THOROUGHFARE TYPES. The Plan Commission and Village Board shall determine which Thoroughfare Type, herein, shall be applied for a given thoroughfare upon the advice of the Village Planner and Village Engineer. Thoroughfare design shall be context-driven and shall provide for a wide diversity in thoroughfares throughout the Village. The location of the proposed thoroughfare, its length, the uses of land and density or intensity of use along its frontage, traffic calming capabilities, parking needs, as well as the intended function of the thoroughfare shall be considered in determining which Thoroughfare Type described in this Section shall be applied. Multiple Thoroughfare Types may be applied to the same thoroughfare depending upon the context and land uses at given segments along the thoroughfare. In addition to the standards and specifications set forth in Section 7.3.4.A, thoroughfares required by this Title shall be provided in the manner set forth below.

1. TYPE 1 Thoroughfare (Alley)



a. PERMITTED DEVELOPMENT DISTRICTS

T-2 T-3 T-4 T-5A T-5B

b. RIGHT-OF-WAY STANDARDS

Right-of-way width:	16 feet A
One-way traffic?	Optional

c. ROADWAY STANDARDS

Design speed (mph):	≤ 10
Centerline radius (min):	50 feet
Tangent, horizontal (min):	NA
Grade:*	6%
<i>*Minimum grade shall be 0.4%</i>	
Tangent, vertical (min):	150 feet
Pavement width (min, edge-to-edge):	12 feet B
Intersection curb radius:	10 feet* C
<i>*Alley shall have flared ends at intersection with thoroughfare</i>	
Bicycle lane required?	NO
Bicycle lane width (min):	NA
Median permitted:	NO
Median landscaped?	NA

d. ON-STREET PARKING STANDARDS

On-street parking permitted?	NO
Parking lane width:	NA

e. ILLUMINATION STANDARDS

Street lights required?	YES
Minimum spacing:	Motion-activated or photocell required on each garage
Dark sky photometrics?	Required

f. DRAINAGE STANDARDS

Closed?	Optional
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Open?	Optional
Curb?	M4.12, one side (location tbd) E

g. PEDESTRIAN STANDARDS

Sidewalks required?	NO
Sidewalk width (min):	NA
Alternative paving materials?	NA
Traffic calming at intersections?	NA

h. OFF-STREET TRAIL STANDARDS

Trail width (min):	NA
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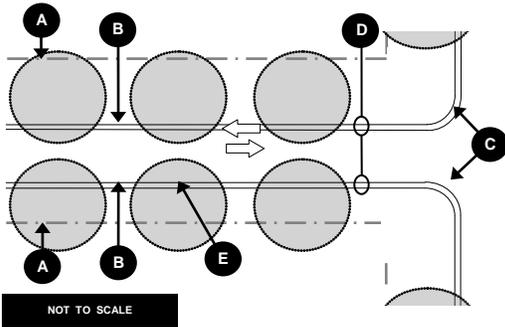
i. LANDSCAPING STANDARDS

Street trees required?*	NO
Street tree spacing:	NA
Raised planting beds permitted?	NO
Tree grates/guards permitted?	NA
<i>*See Section 7.3.7 for approved tree species list</i>	

Notes:

- All dimensions are expressed as maximums, except where noted otherwise
- “Edge-to-edge” shall mean edge of pavement to edge of pavement
- Where open drainage is applied, curb openings may be permitted for drainage purposes by Village Engineer
- Lots forming the intersection of two alleys shall provide a chamfered corner to accommodate turning movements in the alley intersection; the legs of the chamfer shall each be twenty (20) feet in length **D**
- Dead-end alleys shall be avoided

2. TYPE 2 Thoroughfare (Country Lane)



a. PERMITTED DEVELOPMENT DISTRICTS

E-1 T-1 T-2

b. RIGHT-OF-WAY STANDARDS

Right-of-way width (min):	60 feet ¹ A
One-way traffic?	NO

c. ROADWAY STANDARDS

Design speed (mph):	≤ 25
Centerline radius (min):	100 feet
Tangent, horizontal (min):	100 feet ²
Grade:*	6%
<i>*Minimum grade shall be 0.4%</i>	
Vertical curve:	150 feet
Tangent, vertical (min):	150 feet ²
Pavement width (min, edge-to-edge):	24 feet B
Gravel shoulders:	2 feet
Intersection curb radius:	25 feet C
Bicycle lane required?	NO
Bicycle lane width (min):	NA
Median permitted ² :	NO
Median landscaped?	NA

d. ON-STREET PARKING STANDARDS

On-street parking permitted?	NO
Parking lane width:	NA

e. ILLUMINATION STANDARDS

Street lights required?	YES
Minimum spacing:	Intersections
Dark sky photometrics?	Required

f. DRAINAGE STANDARDS

Closed?	NO
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Open?	Required
Curb?	As needed ³ D

g. PEDESTRIAN STANDARDS

Sidewalks* required?	NO ⁴
Sidewalk width (min):	NA
Alternative paving materials?	NA
Traffic calming at intersections?	NO
<i>*See Section 7.3.5 for construction specifications</i>	

h. OFF-STREET TRAIL STANDARDS

Trail width (min):	10 feet
<i>*Off-street trail may be used as substitute for sidewalk on one or both sides of thoroughfare as determined by Village¹</i>	

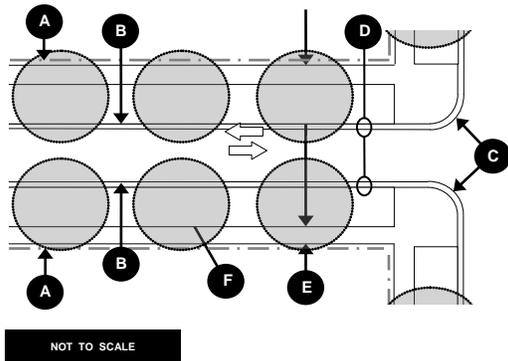
i. LANDSCAPING STANDARDS

Street trees* required?	YES E
Street tree spacing:	See Section 7.3.7
Tree bank landscaping required?	See Section 7.3.7
Raised planting beds permitted?	NO
Tree grates/guards permitted?	NO
<i>*See Section 7.3.7 for approved tree species list</i>	

Notes:

- All dimensions are expressed as maximums, except where noted otherwise
 - “Optional” requires consent and approval by Village Engineer and Village Board
 - “Edge-to-edge” shall mean edge of pavement to edge of pavement
- ¹ If a median is used in the thoroughfare, the right-of-way dimension shall be increased by the width of the median
- ² Minimum shall conform to State of Illinois Highway Standards based on design speed for roadway
- ³ Where open drainage is applied, curb openings may be permitted for drainage purposes by Village Engineer
- ⁴ If sidewalks are provided, sidewalks shall be provided on both sides of roadway

3. TYPE 3 Thoroughfare (Estate Lane)



a. PERMITTED DEVELOPMENT DISTRICTS

E-1 T-2 T-3 T-4

b. RIGHT-OF-WAY STANDARDS

Right-of-way width (min):	60 feet ¹ A
One-way traffic?	NO

c. ROADWAY STANDARDS

Design speed (mph):	≤ 25
Centerline radius (min):	100 feet
Tangent, horizontal (min):	100 feet ²
Grade:*	6%
<i>*Minimum grade shall be 0.4%</i>	
Vertical curve:	150 feet
Tangent, vertical (min):	150 feet ²
Pavement width (min, face-to-face):	24 feet B
Intersection curb radius:	15 feet C
Bicycle lane required?	NO
Bicycle lane width (min):	NA
Median permitted ² :	NO
Median landscaped?	NA

d. ON-STREET PARKING STANDARDS

On-street parking permitted?	NO
Parking lane width:	NA

e. ILLUMINATION STANDARDS

Street lights required?	YES
Minimum spacing:	Intersections
Dark sky photometrics?	Required

f. DRAINAGE STANDARDS

Closed?	Optional
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Open?	Optional
Curb?	M4.12, both sides ³ D

g. PEDESTRIAN STANDARDS

Sidewalks* required?	YES ⁴ E
Sidewalk width (min):	5 feet
Alternative paving materials?	Optional
Traffic calming at intersections?	NO
<i>*See Section 7.3.5 for construction specifications</i>	

h. OFF-STREET TRAIL STANDARDS

Trail width (min):	12 feet
<i>*Off-street trail may be used as substitute for sidewalk on one or both sides of thoroughfare as determined by Village¹</i>	

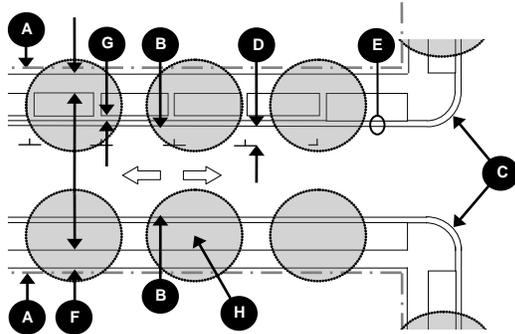
i. LANDSCAPING STANDARDS

Street trees* required?	YES F
Street tree spacing:	See Section 7.3.7
Tree bank landscaping required?	See Section 7.3.7
Raised planting beds permitted?	NO
Tree grates/guards permitted?	NO
<i>*See Section 7.3.7 for approved tree species list</i>	

Notes:

- All dimensions are expressed as maximums, except where noted otherwise
 - “Optional” requires consent and approval by Village Engineer and Village Board
 - “Face-to-face” shall mean face of curb to face of curb
- ¹ If a median is used in the thoroughfare, the right-of-way dimension shall be increased by the width of the median
- ² Minimum shall conform to State of Illinois Highway Standards based on design speed for roadway
- ³ Where open drainage is applied, curb openings may be permitted for drainage purposes by Village Engineer
- ⁴ Unless indicated otherwise, sidewalks are required on both sides of roadway

4. TYPE 4 Thoroughfare (Yield Street)



NOT TO SCALE

a. PERMITTED DEVELOPMENT DISTRICTS

E-1	R-2	GB	T-4	T-5B
R-1	R-3	T-3	T-5A	T-6

b. RIGHT-OF-WAY STANDARDS

Right-of-way width (min):	66 feet ¹ A
One-way traffic?	NO

c. ROADWAY STANDARDS

Design speed (mph):	≤ 25
Centerline radius (min):	100 feet
Tangent, horizontal (min):	100 feet ²
Grade:*	6%
<i>*Minimum grade shall be 0.4%</i>	
Vertical curve:	150 feet
Tangent, vertical (min):	150 feet ²
Pavement width (min, face-to-face):	28 feet B
Intersection curb radius:	15 feet C
Bicycle lane required?	NO
Bicycle lane width (min):	NA
Median permitted ² ?	NO
Median landscaped?	NA

d. ON-STREET PARKING STANDARDS

On-street parking permitted?	One side
Parking lane width:	7 feet D

e. ILLUMINATION STANDARDS

Street lights required?	YES
Minimum spacing:	Intersections
Dark sky photometrics?	Required

f. DRAINAGE STANDARDS

Closed?	Optional
Open?	Optional
Curb?	B6.12, both sides ³ E

g. PEDESTRIAN STANDARDS

Sidewalks* required?	YES ⁴ F
Carriage walk**required?	Optional G
Sidewalk width (min):	5 feet***
Carriage walk width (min)?	2 feet

Alternative paving materials?	Optional
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Traffic calming at intersections?	Recommended
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**See Section 7.3.5 for construction specifications*

***Carriage walks permitted only on side of street where on-street parking is permitted*

****Width may be increased with high density/intensity uses or pedestrian volumes along thoroughfare frontage*

h. OFF-STREET TRAIL STANDARDS

Trail width (min):	NA
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i. LANDSCAPING STANDARDS

Street trees* required?	YES H
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Street tree spacing:	See Section 7.3.7
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Tree bank landscaping required?	See Section 7.3.7
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Raised planting beds permitted?	NO
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Tree grates/guards permitted?	Optional
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**See Section 7.3.7 for approved tree species list*

Notes:

- All dimensions are expressed as maximums, except where noted otherwise
- “Optional” requires consent and approval by Village Engineer and Village Board
- “Face-to-face” shall mean face of curb to face of curb

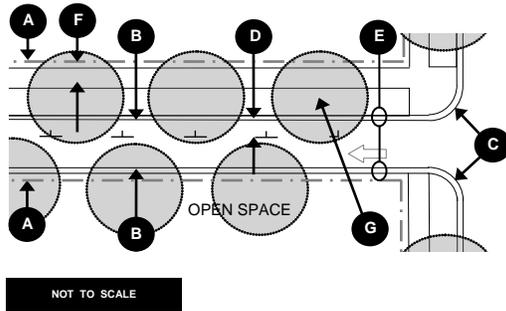
¹ If a median is used in the thoroughfare, the right-of-way dimension shall be increased by the width of the median

² Minimum shall conform to State of Illinois Highway Standards based on design speed for roadway

³ Where open drainage is applied, curb openings may be permitted for drainage purposes by Village Engineer

⁴ Unless indicated otherwise, sidewalks are required on both sides of roadway

5. TYPE 5 Thoroughfare (One-way Street)



a. PERMITTED DEVELOPMENT DISTRICTS

T-1 T-2 T-3 T-4 T-5A T-5B

b. RIGHT-OF-WAY STANDARDS

Right-of-way width (min): 36 feet¹ **A**

One-way traffic*? YES

**This Thoroughfare Type should be used only with a companion segment providing traffic flow in opposite direction, and should be used as an edge treatment for public or private neighborhood open spaces*

c. ROADWAY STANDARDS

Design speed (mph): ≤ 20

Centerline radius (min): 100 feet

Tangent, horizontal (min): 100 feet²

Grade:* 6%

**Minimum grade shall be 0.4%*

Vertical curve: 150 feet

Tangent, vertical (min): 150 feet²

Pavement width (min, face-to-face): 20 feet **B**

Intersection curb radius: 15 feet **C**

Bicycle lane required¹? NO

Bicycle lane width (min): NA

Median permitted¹? NO

Median landscaped? NA

d. ON-STREET PARKING STANDARDS

On-street parking permitted? One side

Parking lane width: 7 feet **D**

e. ILLUMINATION STANDARDS

Street lights required? YES

Minimum spacing: Intersections

Dark sky photometrics? Required

f. DRAINAGE STANDARDS

Closed? Optional

Open? Optional

Curb? B6.12, both sides³ **E**

g. PEDESTRIAN STANDARDS

Sidewalks* required? One side⁴ **F**

Sidewalk width (min): 5 feet

Alternative paving materials? Optional

Traffic calming at intersections? Optional

**See Section 7.3.5 for construction specifications*

h. OFF-STREET BICYCLE STANDARDS

Bicycle lane width (min): 10 feet

**Off-street trail may be used as substitute for sidewalk on one or both sides of thoroughfare as determined by Village¹*

i. LANDSCAPING STANDARDS

Street trees* required? YES **G**

Street tree spacing: See Section 7.3.7

Tree bank landscaping required? See Section 7.3.7

Raised planting beds permitted? NO

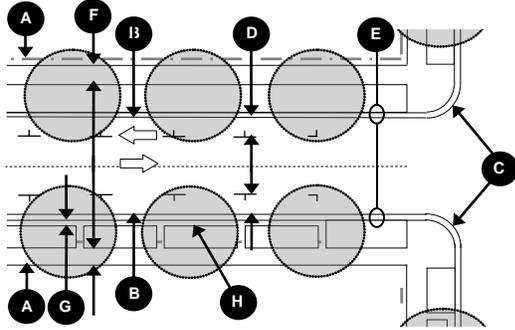
Tree grates/guards permitted? Optional

**See Section 7.3.7 for approved tree species list*

Notes:

- All dimensions are expressed as maximums, except where noted otherwise
 - “Face-to-face” shall mean face of curb to face of curb
 - “Optional” requires consent and approval by Village Engineer and Village Board
- ¹ If a median is used in the thoroughfare, the right-of-way dimension shall be increased by the width of the median
- ² Minimum shall conform to State of Illinois Highway Standards based on design speed for roadway
- ³ Where open drainage is applied, curb openings may be permitted for drainage purposes by Village Engineer
- ⁴ Unless indicated otherwise, sidewalks are required on both sides of roadway

6. TYPE 6 Thoroughfare



NOT TO SCALE

a. PERMITTED DEVELOPMENT DISTRICTS

E-1	R-2	GB	T-4	T-5B
R-1	R-3	T-3	T-5A	T-6

b. RIGHT-OF-WAY STANDARDS

Right-of-way width (min):	66 feet ¹ (A)
One-way traffic?	NO

c. ROADWAY STANDARDS

Design speed (mph):	≤ 20
Centerline radius (min):	200 feet
Tangent, horizontal (min):	100 feet ²
Grade:*	6%
<i>*Minimum grade shall be 0.4%</i>	
Vertical curve:	150 feet
Tangent, vertical (min):	150 feet ²
Pavement width (face-to-face):	38 feet (B)
Intersection curb radius:	15 feet (C)
Bicycle lane required ² ?	Optional
Bicycle lane width (min):	4 feet, each direction
Median permitted ¹ ?	Optional, 8-foot min
Median landscaped?	YES

d. ON-STREET PARKING STANDARDS

On-street parking permitted?	Both sides
Parking lane width:	7 feet (D)

e. ILLUMINATION STANDARDS

Street lights required?	YES
Minimum spacing:	Intersections
Dark sky photometrics?	Required

f. DRAINAGE STANDARDS

Closed?	Optional
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Open?	NO
Curb?	B6.12, both sides ³ (E)

g. PEDESTRIAN STANDARDS

Sidewalks* required?	YES ⁴ (F)
Carriage walk required?	Recommended (G)
Sidewalk width (min):	5 feet**
Carriage walk width (min)?	2 feet
Alternative paving materials?	Optional

Traffic calming at intersections? Recommended
**See Section 7.3.5 for construction specifications*
***Width may be increased with high density/intensity uses or pedestrian volumes along thoroughfare frontage*

h. OFF-STREET TRAIL STANDARDS

Trail* width (min):	12 feet
<i>*Off-street trail may be used as substitute for sidewalk on one or both sides of thoroughfare as determined by Village¹</i>	

i. LANDSCAPING STANDARDS

Street trees* required?	YES (H)
Street tree spacing:	See Section 7.3.7
Tree bank landscaping required?	See Section 7.3.7
Raised planting beds permitted?	Optional
Tree grates/guards permitted?	Optional
<i>*See Section 7.3.7 for approved tree species list</i>	

Notes:

- All dimensions are expressed as maximums, except where noted otherwise
- “Face-to-face” shall mean face of curb to face of curb
- “Optional” requires consent and approval by Village Engineer and Village Board

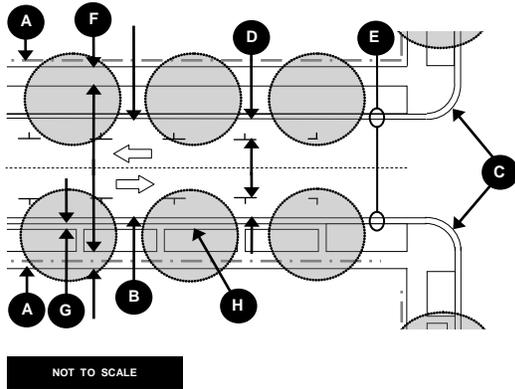
¹ If a median or bike lanes are used in the thoroughfare, the right-of-way dimension shall be increased by the width of the median and bike lanes

² Minimum shall conform to State of Illinois Highway Standards based on design speed for roadway

³ Where open drainage is applied, curb openings may be permitted for drainage purposes by Village Engineer

⁴ Unless indicated otherwise, sidewalks are required on both sides of roadway

7. TYPE 7 Thoroughfare



a. PERMITTED DEVELOPMENT DISTRICTS

E-1	R-2	GB	T-4	T-5B
R-1	R-3	T-3	T-5A	T-6

b. RIGHT-OF-WAY STANDARDS

Right-of-way width (min):	80 feet ¹ A
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One-way traffic?	NO
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c. ROADWAY STANDARDS

Design speed (mph):	≤ 30
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Centerline radius (min):	200 feet
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Tangent, horizontal (min):	100 feet ²
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Grade:*	6%
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*Minimum grade shall be 0.4%

Vertical curve:	150 feet
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Tangent, vertical (min):	150 feet ²
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Pavement width:	42 feet B
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Intersection curb radius:	15 feet C
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Bicycle lane required ¹ ?	Optional
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Bicycle lane width:	4 feet, each direction
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Median permitted ¹ ?	Optional, 8-foot min
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Median landscaped?	YES
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d. ON-STREET PARKING STANDARDS

On-street parking permitted?	Both sides
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Parking lane width:	7 feet D
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e. ILLUMINATION STANDARDS

Street lights required?	YES
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Minimum spacing:	Intersections
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Dark sky photometrics?	Required
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f. DRAINAGE STANDARDS

Closed?	Optional
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Open?	Optional
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Curb?	B6.12, both sides ³ E
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g. PEDESTRIAN STANDARDS

Sidewalks* required?	YES ⁴ F
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Carriage walk required?	Recommended G
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Sidewalk width (min):	5 feet**
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Carriage walk width (min)?	2 feet
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Alternative paving materials?	Optional
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Traffic calming at intersections?	Optional
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*See Section 7.3.5 for construction specifications
 **Width may be increased with high density/intensity uses along thoroughfare frontage

h. OFF-STREET TRAIL STANDARDS

Trail* width (min):	12 feet
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*Off-street trail may be used as substitute for sidewalk on one or both sides of thoroughfare as determined by Village¹

i. LANDSCAPING STANDARDS

Street trees* required?	YES H
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Street tree spacing:	See Section 7.3.7
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Tree bank landscaping required?	See Section 7.3.7
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Raised planting beds permitted?	Optional
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Tree grates/guards permitted?	Optional
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*See Section 7.3.7 for approved tree species list

Notes:

- All dimensions are expressed as maximums, except where noted otherwise
- "Optional" requires consent and approval by Village Engineer and Village Board

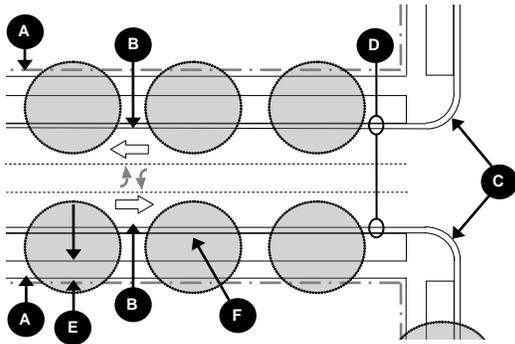
¹ If a median or bike lanes are used in the thoroughfare, the right-of-way dimension shall be increased by the width of the median and bike lanes

² Minimum shall conform to State of Illinois Highway Standards based on design speed for roadway

³ Where open drainage is applied, curb openings may be permitted for drainage purposes by Village Engineer

⁴ Unless indicated otherwise, sidewalks are required on both sides of roadway

8. TYPE 8 Thoroughfare (3-lane street)



a. PERMITTED DEVELOPMENT DISTRICTS

E-1	R-2	GB	T-4	T-5B
R-1	R-3	T-3	T-5A	T-6

b. RIGHT-OF-WAY STANDARDS

Right-of-way width (min):	66 feet ¹ A
One-way traffic?	NO

c. ROADWAY STANDARDS

Design speed (mph):	≤ 30
Centerline radius (min):	200 feet
Tangent, horizontal (min):	100 feet ²
Grade:*	6%
<i>*Minimum grade shall be 0.4%</i>	
Vertical curve:	150 feet
Tangent, vertical (min):	150 feet ²
Pavement width:	36 feet B
Intersection curb radius:	15 feet C
Bicycle lane required ¹ ?	Optional
Bicycle lane width (min):	4 feet, each direction
Median permitted ¹ ?	YES, but length may be limited by Village Engineer
Median landscaped?	YES

d. ON-STREET PARKING STANDARDS

On-street parking permitted?	NO
Parking lane width:	NA

e. ILLUMINATION STANDARDS

Street lights required?	YES
Minimum spacing:	Intersections
Dark sky photometrics?	Required

f. DRAINAGE STANDARDS

Closed?	Optional
Open?	Optional
Curb?	B6.12, both sides ³ D

g. PEDESTRIAN STANDARDS

Sidewalks* required?	YES ⁴ E
Sidewalk width (min):	5 feet**
Alternative paving materials?	Optional
Traffic calming at intersections?	Optional

**See Section 7.3.5 for construction specifications*
***Width may be increased with high density/intensity uses along thoroughfare frontage*

h. OFF-STREET TRAIL STANDARDS

Trail* width (min):	12 feet
<i>*Off-street trail may be used as substitute for sidewalk on one or both sides of thoroughfare as determined by Village¹</i>	

i. LANDSCAPING STANDARDS

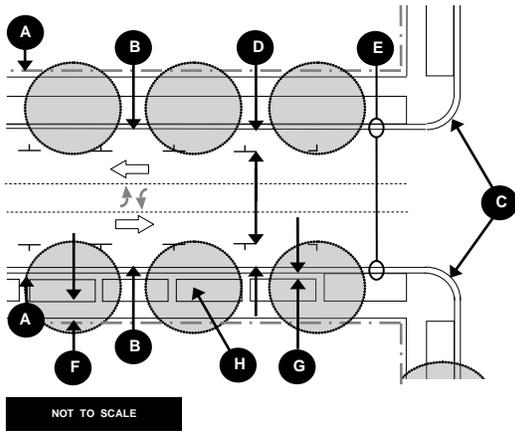
Street trees* required?	YES F
Street tree spacing:	See Section 7.3.7
Tree bank landscaping required?	See Section 7.3.7
Raised planting beds permitted?	Optional
Tree grates/guards permitted?	Optional

**See Section 7.3.7 for approved tree species list*

Notes:

- All dimensions are expressed as maximums, except where noted otherwise
 - “Optional” requires consent and approval by Village Engineer and Village Board
- ¹ If a median or bike lanes are used in the thoroughfare, the right-of-way dimension shall be increased by the width of the median and bike lanes
- ² Minimum shall conform to State of Illinois Highway Standards based on design speed for roadway
- ³ Where open drainage is applied, curb openings may be permitted for drainage purposes by Village Engineer
- ⁴ Unless indicated otherwise, sidewalks are required on both sides of roadway

9. TYPE 9 Thoroughfare (three-lane street)



a. PERMITTED DEVELOPMENT DISTRICTS

R-2 GB T-4 T-5B T-6
R-1 R-3 T-3 T-5A

b. RIGHT-OF-WAY STANDARDS

Right-of-way width (min): 80 feet¹ **A**

One-way traffic? NO

c. ROADWAY STANDARDS

Design speed (mph): ≤ 30

Centerline radius (min): 200 feet

Tangent, horizontal (min): 100 feet²

Grade:* 6%

*Minimum grade shall be 0.4%

Vertical curve: 150 feet

Tangent, vertical (min): 150 feet²

Pavement width: 34 feet **B**

Intersection curb radius: 15 feet **C**

Bicycle lane required¹? Optional

Bicycle lane width (min): 4 feet, each direction

Median permitted¹? Optional, 8-foot min

Median landscaped? YES

d. ON-STREET PARKING STANDARDS

On-street parking permitted? Both sides

Parking lane width: 7 feet **D**

e. ILLUMINATION STANDARDS

Street lights required? YES

Minimum spacing: Intersections

Dark sky photometrics? Required

f. DRAINAGE STANDARDS

Closed? Optional

Open? Optional

Curb? B6.12, both sides³ **E**

g. PEDESTRIAN STANDARDS

Sidewalks* required? YES⁴

Carriage walk required? Recommended

Sidewalk width (min): 5 feet** **F**

Carriage walk width (min)? 2 feet **G**

Alternative paving materials? Optional

Traffic calming at intersections? Required

*See Section 7.3.5 for construction specifications

**Width may be increased with high density/intensity uses along thoroughfare frontage

h. OFF-STREET TRAIL STANDARDS

Trail* width (min): 12 feet

*Off-street trail may be used as substitute for sidewalk on one or both sides of thoroughfare as determined by Village¹

i. LANDSCAPING STANDARDS

Street trees* required? YES **H**

Street tree spacing: See Section 7.3.7

Tree bank landscaping required? See Section 7.3.7

Raised planting beds permitted? Optional

Tree grates/guards permitted? Optional

*See Section 7.3.7 for approved tree species list

Notes:

- All dimensions are expressed as maximums, except where noted otherwise
- “Optional” requires consent and approval by Village Engineer and Village Board

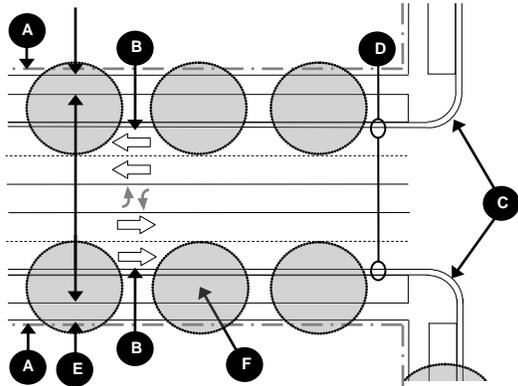
¹ If a median or bike lanes are used in the thoroughfare, the right-of-way dimension shall be increased by the width of the median and bike lanes

² Minimum shall conform to State of Illinois Highway Standards based on design speed for roadway

³ Where open drainage is applied, curb openings may be permitted for drainage purposes by Village Engineer

⁴ Unless indicated otherwise, sidewalks are required on both sides of roadway

10. TYPE 10 Thoroughfare



NOT TO SCALE

a. PERMITTED DEVELOPMENT DISTRICTS

E-1 R-2 GB T-4 T-5B
R-1 R-3 T-3 T-5A T-6

b. RIGHT-OF-WAY STANDARDS

Right-of-way width (min):	100 feet ¹ A
One-way traffic?	YES

c. ROADWAY STANDARDS

Design speed (mph):	≤ 30
Centerline radius (min):	300 feet
Tangent, horizontal (min):	100 feet ¹
Grade:*	6%
<i>*Minimum grade shall be 0.4%</i>	
Vertical curve:	150 feet
Tangent, vertical (min):	150 feet ¹
Pavement width:	60 feet B
Intersection curb radius:	15 feet C
Bicycle lane required ² ?	Optional
Bicycle lane width:	4 feet, each direction
Median permitted?	Required, 14-foot min
Median landscaped?	YES

d. ON-STREET PARKING STANDARDS

On-street parking permitted?	NO
Parking lane width:	NA

e. ILLUMINATION STANDARDS

Street lights required?	YES
Minimum spacing:	Intersections
Dark sky photometrics?	Required

f. DRAINAGE STANDARDS

Closed?	Optional
Open?	Optional
Curb?	B6.12, both sides ³ D

g. PEDESTRIAN STANDARDS

Sidewalks* required?	YES ⁴ E
Sidewalk width (min):	5 feet**
Alternative paving materials?	Optional
Traffic calming at intersections?	Optional

**See Section 7.3.5 for construction specifications*
***Width may be increased with high density/intensity uses along thoroughfare frontage*

h. OFF-STREET TRAIL STANDARDS

Trail* width (min):	12 feet
<i>*Off-street trail may be used as substitute for sidewalk on one or both sides of thoroughfare as determined by Village¹</i>	

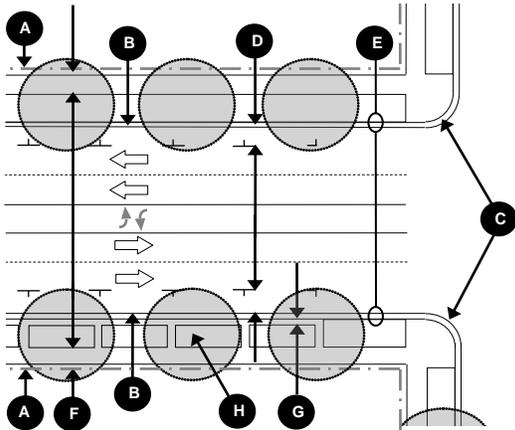
i. LANDSCAPING STANDARDS

Street trees* required?	YES F
Street tree spacing:	See Section 7.3.7
Tree bank landscaping required?	See Section 7.3.7
Raised planting beds permitted?	Optional
Tree grates/guards permitted?	Optional
<i>*See Section 7.3.7 for approved tree species list</i>	

Notes:

- All dimensions are expressed as maximums, except where noted otherwise
 - “Optional” requires consent and approval by Village Engineer and Village Board
- ¹ If a median or bike lanes are used in the thoroughfare, the right-of-way dimension shall be increased by the width of the median and bike lanes
- ² Minimum shall conform to State of Illinois Highway Standards based on design speed for roadway
- ³ Where open drainage is applied, curb openings may be permitted for drainage purposes by Village Engineer
- ⁴ Unless indicated otherwise, sidewalks are required on both sides of roadway

11. TYPE 11 Thoroughfare



NOT TO SCALE

a. PERMITTED DEVELOPMENT DISTRICTS

R-2 GB T-4 T-5B T-6
R-1 R-3 T-3 T-5A

b. RIGHT-OF-WAY STANDARDS

Right-of-way width (min):	112 feet ¹ A
One-way traffic?	YES

c. ROADWAY STANDARDS

Design speed (mph):	40
Centerline radius (min):	300 feet
Tangent, horizontal (min):	100 feet ²
Grade:*	6%
<i>*Minimum grade shall be 0.4%</i>	
Vertical curve:	150 feet
Tangent, vertical (min):	150 feet ²
Pavement width:	74 feet B
Intersection curb radius:	15 feet C
Bicycle lane required ¹ ?	Optional
Bicycle lane width ¹ :	4 feet, each direction
Median permitted ² ?	Optional
Median landscaped?	NA

d. ON-STREET PARKING STANDARDS

On-street parking permitted?	Both sides
Parking lane width:	7 feet D

e. ILLUMINATION STANDARDS

Street lights required?	YES
Minimum spacing:	Intersections
Dark sky photometrics?	Required

f. DRAINAGE STANDARDS

Closed?	Required
Open?	NO
Curb?	B6.12, both sides, each direction E

g. PEDESTRIAN STANDARDS

Sidewalks* required?	YES ⁴
Carriage walk required?	Recommended
Sidewalk width (min):	5 feet** F
Carriage walk width (min)?	2 feet G
Alternative paving materials?	Optional
Traffic calming at intersections?	Required

**See Section 7.3.5 for construction specifications*
***Width may be increased with high density/intensity uses along thoroughfare frontage*

h. OFF-STREET TRAIL STANDARDS

Trail* width (min):	12 feet
<i>*Off-street trail may be used as substitute for sidewalk on one or both sides of thoroughfare as determined by Village¹</i>	

i. LANDSCAPING STANDARDS

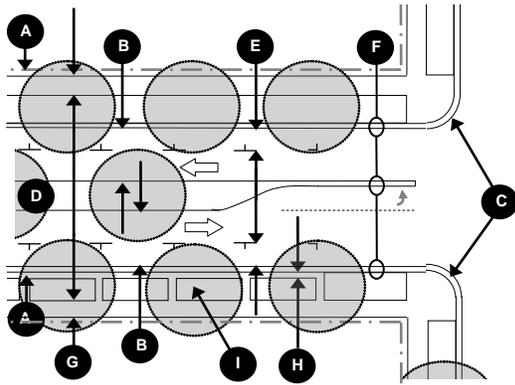
Street trees* required?	YES H
Street tree spacing:	See Section 7.3.7
Tree bank landscaping required?	See Section 7.3.7
Raised planting beds permitted?	Optional
Tree grates/guards permitted?	Optional

**See Section 7.3.7 for approved tree species list*

Notes:

- All dimensions are expressed as maximums, except where noted otherwise
 - “Optional” requires consent and approval by Village Engineer and Village Board
- ¹ If a median or bike lanes are used in the thoroughfare, the right-of-way dimension shall be increased by the width of the median and bike lanes
- ² Minimum shall conform to State of Illinois Highway Standards based on design speed for roadway
- ³ Where open drainage is applied, curb openings may be permitted for drainage purposes by Village Engineer
- ⁴ Unless indicated otherwise, sidewalks are required on both sides of roadway

12. TYPE 12 Thoroughfare (boulevard)



NOT TO SCALE

a. PERMITTED DEVELOPMENT DISTRICTS

R-2 GB T-4 T-5B T-6
R-1 R-3 T-3 T-5A

b. RIGHT-OF-WAY STANDARDS

Right-of-way width (min):	94 feet ¹ A
One-way traffic?	YES

c. ROADWAY STANDARDS

Design speed (mph):	35
Centerline radius (min):	300 feet
Tangent, horizontal (min):	100 feet ²
Grade:*	6%
*Minimum grade shall be 0.4%	
Vertical curve:	150 feet
Tangent, vertical (min):	150 feet ²
Pavement width (min):	21 feet, each direction B
Intersection curb radius:	15 feet C
Bicycle lane required ¹ ?	Optional
Bicycle lane width:	4 feet, each direction, local lanes only
Median permitted ¹ ?	Required, 14-foot min D
Median landscaped?	YES

d. ON-STREET PARKING STANDARDS

On-street parking permitted?	One side, each direction
Parking lane width:	7 feet E

e. ILLUMINATION STANDARDS

Street lights required?	YES
Minimum spacing:	Intersections
Dark sky photometrics?	Required

f. DRAINAGE STANDARDS

Closed?	Optional
Open?	Optional
Curb?	B6.12, both sides, each direction F

g. PEDESTRIAN STANDARDS

Sidewalks* required?	YES ⁴
Carriage walk required?	Recommended
Sidewalk width (min):	5 feet** G
Carriage walk width (min):	2 feet H
Alternative paving materials?	Optional
Traffic calming at intersections?	Optional

*See Section 7.3.5 for construction specifications
**Width may be increased with high density/intensity uses along thoroughfare frontage

h. OFF-STREET TRAIL STANDARDS

Trail* width (min):	12 feet
*Off-street trail may be used as substitute for sidewalk on one or both sides of thoroughfare as determined by Village ¹	

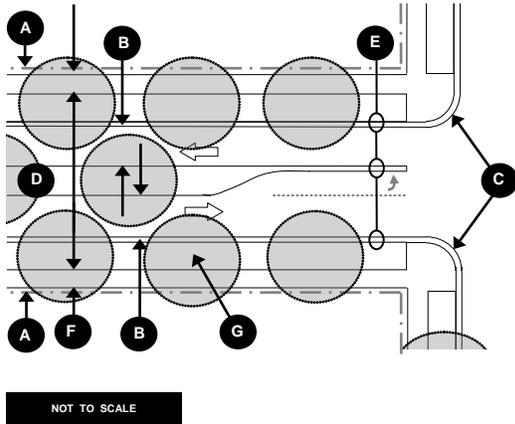
i. LANDSCAPING STANDARDS

Street trees* required?	YES I
Street tree spacing:	See Section 7.3.7
Tree bank landscaping required?	See Section 7.3.7
Raised planting beds permitted?	Optional
Tree grates/guards permitted?	Optional
*See Section 7.3.7 for approved tree species list	

Notes:

- All dimensions are expressed as maximums, except where noted otherwise
- “Optional” requires consent and approval by Village Engineer and Village Board
- ¹ If a median or bike lanes are used in the thoroughfare, the right-of-way dimension shall be increased by the width of the median and bike lanes
- ² Minimum shall conform to State of Illinois Highway Standards based on design speed for roadway
- ³ Where open drainage is applied, curb openings may be permitted for drainage purposes by Village Engineer
- ⁴ Unless indicated otherwise, sidewalks are required on both sides of roadway

13. TYPE 13 Thoroughfare (boulevard)



a. PERMITTED DEVELOPMENT DISTRICTS

R-2	GB	T-4	T-5B	T-6
R-1	R-3	T-3	T-5A	

b. RIGHT-OF-WAY STANDARDS

Right-of-way width (min):	84 feet ¹ A
One-way traffic?	YES

c. ROADWAY STANDARDS

Design speed (mph):	35
Centerline radius (min):	300 feet
Tangent, horizontal (min):	100 feet ²
Grade:*	6%
<i>*Minimum grade shall be 0.4%</i>	
Vertical curve:	150 feet
Tangent, vertical (min):	150 feet ²
Pavement width:	16 feet, each direction B
Intersection curb radius:	15 feet C
Bicycle lane required ² ?	Optional
Bicycle lane width:	4 feet, each direction
Median permitted ² ?	Required, 14-foot min D
Median landscaped?	YES

d. ON-STREET PARKING STANDARDS

On-street parking permitted?	NO
Parking lane width:	NA

e. ILLUMINATION STANDARDS

Street lights required?	YES
Minimum spacing:	Intersections
Dark sky photometrics?	Required

f. DRAINAGE STANDARDS

Closed?	Optional
Open?	Optional
Curb?	B6.12, both sides, each direction E

g. PEDESTRIAN STANDARDS

Sidewalks* required?	YES ⁴ F
Sidewalk width (min):	5 feet**
Alternative paving materials?	Optional
Traffic calming at intersections?	Optional

**See Section 7.3.5 for construction specifications*
***Width may be increased with high density/intensity uses along thoroughfare frontage*

h. OFF-STREET TRAIL STANDARDS

Trail* width (min):	12 feet
<i>*Off-street trail may be used as substitute for sidewalk on one or both sides of thoroughfare as determined by Village¹</i>	

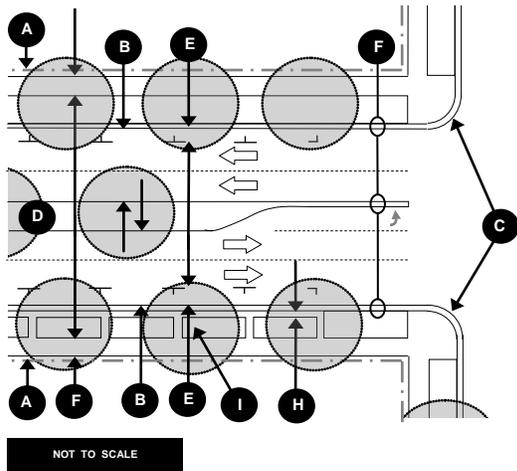
i. LANDSCAPING STANDARDS

Street trees* required?	YES G
Street tree spacing:	See Section 7.3.7
Tree bank landscaping required?	See Section 7.3.7
Raised planting beds permitted?	NO
Tree grates/guards permitted?	NO
<i>*See Section 7.3.7 for approved tree species list</i>	

Notes:

- All dimensions are expressed as maximums, except where noted otherwise
 - “Optional” requires consent and approval by Village Engineer and Village Board
- ¹ If a median or bike lanes are used in the thoroughfare, the right-of-way dimension shall be increased by the width of the median and bike lanes
- ² Minimum shall conform to State of Illinois Highway Standards based on design speed for roadway
- ³ Where open drainage is applied, curb openings may be permitted for drainage purposes by Village Engineer
- ⁴ Unless indicated otherwise, sidewalks are required on both sides of roadway

14. TYPE 14 Thoroughfare (boulevard)



a. PERMITTED DEVELOPMENT DISTRICTS

R-2 GB T-4 T-5B T-6
R-1 R-3 T-3 T-5A

b. RIGHT-OF-WAY STANDARDS

Right-of-way width (min): 114 feet¹ **A**

One-way traffic? YES

c. ROADWAY STANDARDS

Design speed (mph): 35

Centerline radius (min): 300 feet

Tangent, horizontal (min): 100 feet²

Grade:* 6%

*Minimum grade shall be 0.4%

Vertical curve: 150 feet

Tangent, vertical (min): 150 feet²

Pavement width: 31 feet, each direction **B**

Intersection curb radius: 15 feet **C**

Bicycle lane required¹? Optional

Bicycle lane width: 4 feet, each direction

Median permitted¹? Required, 14-foot min **D**

Median landscaped? YES

d. ON-STREET PARKING STANDARDS

On-street parking permitted? One side, each direction

Parking lane width: 7 feet **E**

e. ILLUMINATION STANDARDS

Street lights required? YES

Minimum spacing: Intersections

Dark sky photometrics? Required

f. DRAINAGE STANDARDS

Closed? Required

Open? NO

Curb? B6.12, both sides, each direction **F**

g. PEDESTRIAN STANDARDS

Sidewalks* required? YES⁴

Carriage walk required? Recommended

Sidewalk width (min): 5 feet** **G**

Carriage walk width (min): 2 feet **H**

Alternative paving materials? Optional

Traffic calming at intersections? Required

*See Section 7.3.5 for construction specifications

**Width may be increased with high density/intensity uses along thoroughfare frontage

h. OFF-STREET TRAIL STANDARDS

Trail* width (min): 12 feet

*Off-street trail may be used as substitute for sidewalk on one or both sides of thoroughfare as determined by Village¹

i. LANDSCAPING STANDARDS

Street trees* required? YES **I**

Street tree spacing: See Section 7.3.7

Tree bank landscaping required? See Section 7.3.7

Raised planting beds permitted? Optional

Tree grates/guards permitted? Optional

*See Section 7.3.7 for approved tree species list

Notes:

- All dimensions are expressed as maximums, except where noted otherwise
- “Optional” requires consent and approval by Village Engineer and Village Board

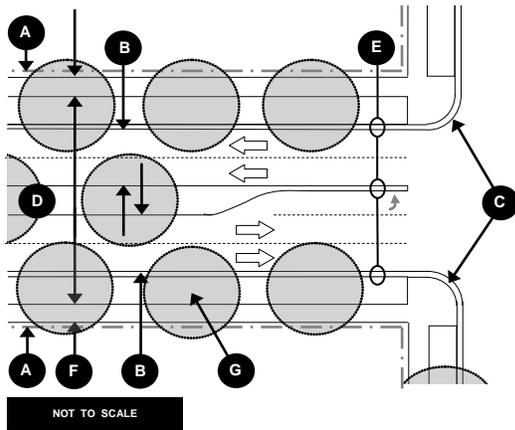
¹ If a median or bike lanes are used in the thoroughfare, the right-of-way dimension shall be increased by the width of the median and bike lanes

² Minimum shall conform to State of Illinois Highway Standards based on design speed for roadway

³ Where open drainage is applied, curb openings may be permitted for drainage purposes by Village Engineer

⁴ Unless indicated otherwise, sidewalks are required on both sides of roadway

15. TYPE 15 Thoroughfare (boulevard)



a. PERMITTED DEVELOPMENT DISTRICTS

R-2	GB	T-4	T-5B	T-6
R-1	R-3	T-3	T-5A	

b. RIGHT-OF-WAY STANDARDS

Right-of-way width (min):	100 feet ¹ (A)
One-way traffic?	YES

c. ROADWAY STANDARDS

Design speed (mph):	35
Centerline radius (min):	300 feet
Tangent, horizontal (min):	100 feet ²
Grade:*	6%
<i>*Minimum grade shall be 0.4%</i>	
Vertical curve:	150 feet
Tangent, vertical (min):	150 feet ²
Pavement width:	24 feet, each direction (B)
Intersection curb radius:	15 feet (C)
Bicycle lane required ¹ ?	Optional
Bicycle lane width:	4 feet, each direction
Median ¹ :	Required, 14-foot min (D)
Median landscaped?	YES

d. ON-STREET PARKING STANDARDS

On-street parking permitted?	NO
Parking lane width:	NA

e. ILLUMINATION STANDARDS

Street lights required?	YES
Minimum spacing:	Intersections
Dark sky photometrics?	Required

f. DRAINAGE STANDARDS

Closed?	Required
Open?	NO
Curb?	B6.12, both sides, each direction (E)

g. PEDESTRIAN STANDARDS

Sidewalks* required?	YES ⁴
Sidewalk width (min):	5 feet** (F)
Alternative paving materials?	Optional
Traffic calming at intersections?	Optional

**See Section 7.3.5 for construction specifications*
***Width may be increased with high density/intensity uses along thoroughfare frontage*

h. OFF-STREET TRAIL STANDARDS

Trail* width (min):	12 feet
<i>*Off-street trail may be used as substitute for sidewalk on one or both sides of thoroughfare as determined by Village¹</i>	

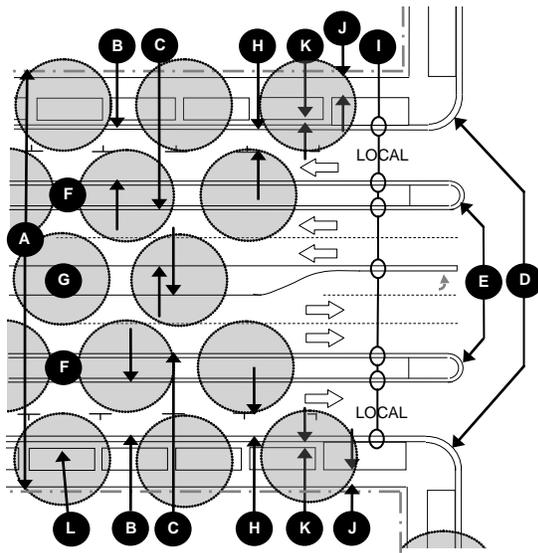
i. LANDSCAPING STANDARDS

Street trees* required?	YES (G)
Street tree spacing:	See Section 7.3.7
Tree bank landscaping required?	See Section 7.3.7
Raised planting beds permitted?	Optional
Tree grates/guards permitted?	Optional
<i>*See Section 7.3.7 for approved tree species list</i>	

Notes:

- All dimensions are expressed as maximums, except where noted otherwise
 - “Optional” requires consent and approval by Village Engineer and Village Board
- ¹ If a median or bike lanes are used in the thoroughfare, the right-of-way dimension shall be increased by the width of the median and bike lanes
- ² Minimum shall conform to State of Illinois Highway Standards based on design speed for roadway
- ³ Where open drainage is applied, curb openings may be permitted for drainage purposes by Village Engineer
- ⁴ Unless indicated otherwise, sidewalks are required on both sides of roadway

16. TYPE 16 Thoroughfare (multi-lane boulevard)



NOT TO SCALE

a. PERMITTED DEVELOPMENT DISTRICTS

Special purpose thoroughfare and can apply across all development districts

b. RIGHT-OF-WAY STANDARDS

Right-of-way width (min):	180 feet ¹ A
One-way traffic?	YES

c. ROADWAY STANDARDS

Design speed (mph):	40
Centerline radius (min):	300 feet
Tangent, horizontal (min):	100 feet ²
Grade:*	6%
<i>*Minimum grade shall be 0.4%</i>	
Vertical curve:	150 feet
Tangent, vertical (min):	150 feet ²

Pavement width, each direction:	
Local Lanes:	21 feet B
Express Lanes:	24 feet C
Intersection curb radius, Local Lanes:	15 feet D
Intersection curb radius, Express Lanes:	6 feet E
Bicycle lane required ¹ ?	Optional, local lanes only
Bicycle lane width:	4 feet, each direction
Median?	
Local Lanes ¹	Required, 14-foot min F
Express Lanes ¹	Required, 18-foot min G
Median landscaped?	YES

d. ON-STREET PARKING STANDARDS

On-street parking?	One side, local lanes only
Parking lane width:	7 feet H

e. ILLUMINATION STANDARDS

Street lights required?	YES
Minimum spacing: Intersections, all pedestrian areas	

Dark sky photometrics?	Required
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f. DRAINAGE STANDARDS

Closed?	Required
Open?	NO
Curb?	B6.12, both sides, each direction I

g. PEDESTRIAN STANDARDS

Sidewalks* required?	YES ⁴
Carriage walk required?	Recommended
Sidewalk width (min):	8 feet** J
Carriage walk width (min)?	2 feet K

Alternative paving materials?	Optional
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Traffic calming at intersections?	Required
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**See Section 7.3.5 for construction specifications*
***Width may be increased with high density/intensity uses along thoroughfare frontage*

h. OFF-STREET TRAIL STANDARDS

Trail* width (min):	NA
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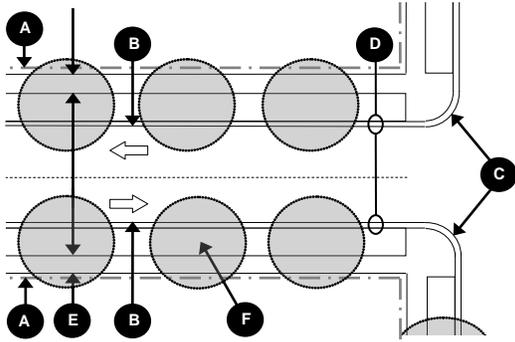
i. LANDSCAPING STANDARDS

Street trees* required?	YES L
Street tree spacing:	See Section 7.3.7
Tree bank landscaping required?	See Section 7.3.7
Raised planting beds permitted?	Optional
Tree grates/guards permitted?	Optional
<i>*See Section 7.3.7 for approved tree species list</i>	

Notes:

- All dimensions are expressed as maximums, except where noted otherwise
 - “Optional” requires consent and approval by Village Engineer and Village Board
- ¹ If a median or bike lanes are used in the thoroughfare, the right-of-way dimension shall be increased by the width of the median and bike lanes
- ² Minimum shall conform to State of Illinois Highway Standards based on design speed for roadway
- ³ Where open drainage is applied, curb openings may be permitted for drainage purposes by Village Engineer
- ⁴ Unless indicated otherwise, sidewalks are required on both sides of roadway

17. TYPE 17 Thoroughfare (industrial street)



NOT TO SCALE

a. PERMITTED DEVELOPMENT DISTRICTS

T-6

b. RIGHT-OF-WAY STANDARDS

Right-of-way width (min):	80 feet ¹ A
One-way traffic?	NO

c. ROADWAY STANDARDS

Design speed (mph):	30
Centerline radius (min):	300 feet
Tangent, horizontal (min):	100 feet ²
Grade:*	6%
<i>*Minimum grade shall be 0.4%</i>	
Vertical curve:	150 feet
Tangent, vertical (min):	150 feet ²
Pavement width:	40 feet B
Intersection curb radius:	15 feet C
Bicycle lane required ¹ ?	Optional
Bicycle lane width:	4 feet, each direction
Median ¹ ?	NO
Median landscaped?	NA

d. ON-STREET PARKING STANDARDS

On-street parking permitted?	NO
Parking lane width:	NA

e. ILLUMINATION STANDARDS

Street lights required?	YES
Minimum spacing:	Intersections
Dark sky photometrics?	Required

f. DRAINAGE STANDARDS

Closed?	Required
Open?	NO
Curb?	B6.12, both sides, each direction D

g. PEDESTRIAN STANDARDS

Sidewalks* required?	YES ⁴
Sidewalk width (min):	5 feet** E
Alternative paving materials?	Optional
Traffic calming at intersections?	Optional

**See Section 7.3.5 for construction specifications*
***Width may be increased with high density/intensity uses along thoroughfare frontage*

h. OFF-STREET TRAIL STANDARDS

Trail* width (min):	12 feet
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**Off-street trail may be used as substitute for sidewalk on one or both sides of thoroughfare as determined by Village¹*

i. LANDSCAPING STANDARDS

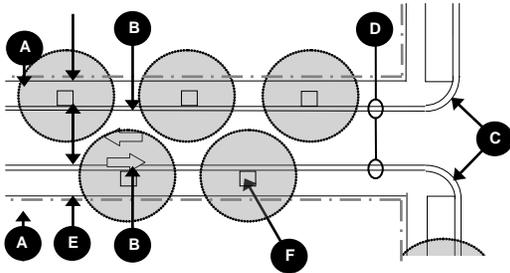
Street trees* required?	YES F
Street tree spacing:	See Section 7.3.7
Tree bank landscaping required?	See Section 7.3.7
Raised planting beds permitted?	Optional
Tree grates/guards permitted?	Optional

**See Section 7.3.7 for approved tree species list*

Notes:

- All dimensions are expressed as maximums, except where noted otherwise
 - “Optional” requires consent and approval by Village Engineer and Village Board
- ¹ If a median or bike lanes are used in the thoroughfare, the right-of-way dimension shall be increased by the width of the median and bike lanes
- ² Minimum shall conform to State of Illinois Highway Standards based on design speed for roadway
- ³ Where open drainage is applied, curb openings may be permitted for drainage purposes by Village Engineer
- ⁴ Unless indicated otherwise, sidewalks are required on both sides of roadway

18. TYPE 18 Thoroughfare (carriage walk street)



a. PERMITTED DEVELOPMENT DISTRICTS

T-2 T-3 T-4 T-5A T-5B T-6

b. RIGHT-OF-WAY STANDARDS

Right-of-way width (min): 42 feet¹ **A**

One-way traffic? NO

c. ROADWAY STANDARDS

Design speed (mph): 20

Centerline radius (min): 300 feet

Tangent, horizontal (min): 100 feet²

Grade:* 6%

**Minimum grade shall be 0.4%*

Vertical curve: 150 feet

Tangent, vertical (min): 150 feet²

Pavement width: 24 feet **B**

Intersection curb radius: 15 feet **C**

Bicycle lane required¹? NO

Bicycle lane width: NA

Median¹? NO

Median landscaped? NA

d. ON-STREET PARKING STANDARDS

On-street parking permitted? NO

Parking lane width: NA

e. ILLUMINATION STANDARDS

Street lights required? YES

Minimum spacing:
Intersections

Dark sky photometrics? Required

f. DRAINAGE STANDARDS

Closed? Required

Open? NO

Curb? B6.12, both sides, each direction **D**

g. PEDESTRIAN STANDARDS

Sidewalks* required? YES⁴

Sidewalk width (min): 8 feet** **E**

Alternative paving materials? Optional

Traffic calming at intersections? Required

**See Section 7.3.5 for construction specifications*

***Width may be increased with high density/intensity uses along thoroughfare frontage*

h. OFF-STREET TRAIL STANDARDS

Trail* width (min): 12 feet

**Off-street trail may be used as substitute for sidewalk on one or both sides of thoroughfare as determined by Village¹*

i. LANDSCAPING STANDARDS

Street trees* required? YES **F**

Street tree spacing: See Section 7.3.7

Tree bank landscaping required? See Section 7.3.7

Raised planting beds permitted? NO

Tree grates/guards permitted?
Required

**See Section 7.3.7 for approved tree species list*

Notes:

- All dimensions are expressed as maximums, except where noted otherwise
- “Optional” requires consent and approval by Village Engineer and Village Board

¹ If a median or bike lanes are used in the thoroughfare, the right-of-way dimension shall be increased by the width of the median and bike lanes

² Minimum shall conform to State of Illinois Highway Standards based on design speed for roadway

³ Where open drainage is applied, curb openings may be permitted for drainage purposes by Village Engineer

⁴ Unless indicated otherwise, sidewalks are required on both sides of roadway

7.3.5. SIDEWALKS AND OFF-STREET TRAILS. Any person subdividing or developing property along a street frontage shall provide sidewalks along the frontage of the property or along any new streets being constructed, and to construct any off-street trails that are included in an approved development plan. Where required along thoroughfares in accordance with Section 7.3.4, public sidewalks shall comply with the following standards, specifications and criteria. Off-street trails, where deemed appropriate or required, shall be provided in accordance with this Section.

- A. LOCATION. Unless otherwise provided in Section 7.3.4, sidewalks shall be provided parallel on both sides of a street. Sidewalks shall be constructed entirely within the public right-of-way or public easement and shall have their outer edges located one (1) foot from the right-of-way line. When not located in a public right-of-way, the minimum width of a pedestrian-way access easement shall be fifteen (15) feet. Every sidewalk shall extend across the entire street frontage of the lot for which it is constructed. Sidewalks shall be constructed to extend across driveways and alleys.

- B. DESIGN STANDARDS.
 - 1. DIMENSIONS. Sidewalks shall be a minimum of five (5) feet wide. Off-street trails shall be a minimum ten (10) feet wide and have a minimum vertical clearance of eleven (11) feet.
 - 2. GRADE. The inner edge of every sidewalk shall be one-half (½) inch higher than the top of the curb for each foot of horizontal distance from the back of the curb ($S = 0.0417$) and shall parallel the longitudinal grade of the gutter line.
 - 3. CROSS-SLOPE. The outer edge of every sidewalk shall be one-quarter (¼) inch higher than its inner edge for each foot of its width ($S = 0.0208$).
 - 4. HANDICAPPED RAMPS. Handicapped ramps shall be installed at all street intersections and at other locations required by the Village Engineer.
 - 5. SERVICE WALKS AND CARRIAGE WALKS. Service walks and carriage walks may be installed in the public right-of-way with the approval of the Village Engineer. Service walks and carriage walks shall be constructed in accordance with the material and thickness requirements for public sidewalks. Carriage walks shall not be less than eighteen (18) inches or more than thirty (30) inches in width. For the purpose of this Section, a service walk is a sidewalk in the right-of-way that is perpendicular to the curb, and a carriage walk is a sidewalk parallel and adjacent the back of curb along a street and is intended only as a convenience to passengers entering or exiting a parked vehicle at the curb.

- C. MATERIALS AND SPECIFICATIONS.
 - 1. Sidewalks shall be of Portland cement concrete five (5) inches uniform thickness. A six (6) bag mix shall be used on all sidewalks. Where the sidewalk extends across a driveway or alley the minimum thickness of sidewalks shall be six (6) inches and a six (6) bag mix shall be used. The concrete mix shall have five-percent (5%) to seven-percent (7%) air entrainment.
 - 2. Alternate materials, such as but not limited to, brick or concrete paving, stamping patterns, and dyes, may be applied to selected sidewalks with the approval and recommendation of the Village Engineer.
 - 3. Off-street trails shall be constructed in accordance with Village standards and specifications.

7.3.6. STREET LIGHTING STANDARDS AND SPECIFICATIONS. Any person subdividing or developing property along a street frontage shall provide street lighting along the frontage of the property or along any new streets being constructed. All street lights in the Village shall comply with the following standards.

- A. Street lights shall be located at all street intersections and at a maximum spacing of two hundred fifty (250) feet along the street proper.
- B. HID luminaries having a two hundred fifty (250) watt maximum shall be provided for each installation.
- C. Supporting poles and luminaries shall be sixteen (16) foot height.
- D. Operation of the luminaries shall be by means of a photoelectric control.
- E. All wiring shall be underground in conduit, and shall be sleeved at street or parkway lot crossings.
- F. All luminaries shall apply Dark Sky photometrics.
- G. The aesthetic design of the luminaries and poles shall be in accordance with the Richmond Public Improvements Illustrated Manual, Appendix C Enclosure 6.1.

7.3.7. THOROUGHFARE LANDSCAPING STANDARDS AND SPECIFICATIONS. Any person subdividing or developing property along a street frontage shall provide thoroughfare landscaping along the frontage of the property or along any new streets being constructed. All thoroughfare landscaping shall comply with the following standards, specifications and criteria:

A. **LANDSCAPING.** All unpaved areas within a thoroughfare in any subdivision or development, including tree banks, swales and medians, and all swales forming the drainage system for a parcel shall be landscaped with sod or alternate approved year round groundcover. Upon the recommendation of the Village Engineer, the Village Board may require additional sod to be placed on a lot to prevent soil erosion and blockage of storm drainage systems. Any twelve (12) month guarantee provided under Chapter 4 of this Title shall include all thoroughfare landscaping required in this Section 7.3.7.

B. **STREET TREES.**

1. **GENERAL CRITERIA.**

- a. All trees shall be grown in a nursery located in the northern half of the State of Illinois and licensed by the State of Illinois.
- b. Trees selected for planting in the Village shall be healthy, free of insects and diseases, bark bruises, and scrapes on the trunk or limbs before or after planting. Selected trees shall have a straight trunk with limbs not lower than six (6) feet above the ground.
- c. Tree holes may be machine dug, provided all sides of holes dug in such manner shall be scored to prevent glazing. If any existing lawn is damaged during the planting operations, it shall be the responsibility of the subdivider/developer to restore said lawn to its original condition. All trees shall be hand planted and planted straight.
- d. The planting season shall be approximately October 15 to December 1, and March 15 to May 1.
- e. Trees shall have a trunk diameter of not less than three (3) inches and a circumference of not less than nine and four-tenths (9.4) inches. Caliper of the trunk of nursery stock shall be measured six (6) inches above the ground for up to and including four (4) inch caliper size, and twelve (12) inches above the ground for larger caliper trees. The root system of all trees shall be balled and burlapped with a minimum ball diameter of thirty-two (32) inches for three (3) inch caliper trees.
- f. **LOCATION REQUIREMENTS.** Trees shall be planted in the parkway along all streets as follows:
 1. No closer than ten (10) feet from driveways and alleys and forty (40) feet from intersections, as measured from the right-of-way lines extended.
 2. In addition, no trees shall be planted within ten (10) feet of a fire hydrant, other above ground utility structure or pole, or utility service lines.
 3. Trees shall be planted with a maximum forty (40) foot spacing such that the total number of trees shall equal or exceed the ratio of one (1) tree for each forty (40) feet of street frontage.
 4. Along residential streets, trees shall be planted in the tree bank in line with the side lot lines. Additional trees shall be planted in the space in between such that the minimum twenty-five (25) and maximum forty (40) foot spacing is maintained without encroaching on the required planting setbacks from driveways, alleys, intersections, fire hydrants, and above ground utility

structures and poles. Final determination of the quantity and location of street trees to satisfy the above requirements shall be made by the Village Engineer or his representative.

- 5. When conditions are such that the required spacing cannot be satisfied in the tree bank or, if in the opinion of the Village Engineer the tree bank is not wide enough to support tree growth, required street trees shall be planted inside the sidewalk line.
- g. Prior to planting, the subdivider/developer shall submit to the Village Engineer, or his designated representative, a list of the number and type of trees that are to be planted and a statement that the trees will comply with the requirements of Section 7.3.7.B. The minimum number of tree species required on each parcel or tract of land shall be as follows:

<u>Size of Parcel (acres)</u>	<u>Quantity of Tree Species</u>
Up to, but not including 5	3
5 up to, but not including 15	5
15 up to, but not including 30	7
30 acres or more	1 additional species for each 10 acres or portion thereof

- h. The subdivider/developer shall provide the Village Engineer with a minimum twenty-four (24) hour notice prior to beginning tree planting.
- i. All trees planted by the subdivider/developer shall be guaranteed for one (1) year from the date of acceptance and shall be replaced by the subdivider/developer at no charge to the Village should they die or be in declining condition in the opinion of the Village Engineer. The replacement trees shall be of the same species, size and quantity, and shall not be released from the same one (1) year guarantee. The subdivision/development shall not be released from the one (1) year warranty period until the one (1) year guarantee period is expired for either original or replacement trees.

2. PLANTING REQUIREMENTS.

- a. Trees shall be planted on the centerlines of the tree banks.
- b. The perimeter of the planting hole shall extend a minimum of two (2) feet beyond the sides of the root ball on all sides. The sides of the hole shall slope gradually, making the hole saucer-shaped or bowl-shaped. The hole shall be no deeper than necessary to cover the root ball.
- c. Top soil shall be placed around the root ball in six (6) inch layers and tamped down until the pit is filled. Tops of root balls shall be planted no deeper than nursery level. A doughnut-like circle of soil shall be cultivated eight (8) to twelve (12) inches deep and eighteen (18) inches wide around the root ball. A four (4) inch layer of organic mulch shall be spread over the planting hole coming no closer to the trunk than six (6) inches. The trees shall be initially watered to remove air pockets from the soil and later as necessary to maintain a healthy, vigorous condition.
- d. Each tree shall be properly pruned back to compensate for any root loss. Such pruning may include roots and lateral branches (up to one-third their length) but in no case may the leader be cut. Any tree that has the main leader cut in any way shall be removed and replaced.
- e. Any excess soil, clay, or construction debris shall be removed from the planting area prior to planting the tree.

- f. All tags, wires, plastic ties, and rope shall be removed from each tree to prevent girdling the tree. The burlap shall be removed from the upper third of the root ball. If “plastic” burlap is used, it shall be removed in its entirety from the root ball.
- g. All trees shall have their trunk protected with tree wrap paper from the base of the trunk up to the first branch. In addition, all trees shall be planted straight and maintained in an upright position. Trees greater than three (3) inches in caliper shall be staked for a minimum of one growing season to provide for the tree’s support and prevent the tree from leaning. Trees with a caliper of three (3) inches or less do not have to be staked unless environmental factors, such as exposure to high winds, predispose the trees to leaning. The Village Engineer shall determine whether or not staking is required in these cases.

3. PERMITTED TREE SPECIES.

- a. Only the following species of trees shall be planted in Village tree banks where the clear space between the curb and sidewalk is six (6) feet or greater in width:

<u>Common Name</u>	<u>Botanical Name</u>
Black Maple	<i>Acer nigrum</i>
“Emerald Lustre” Norway Maple	<i>Acer platanoides</i> “Emerald Lustre”
“Emerald Queen” Norway Maple	<i>Acer platanoides</i> “Emerald Queen”
“Schwedleri” Norway Maple	<i>Acer platanoides</i> “Schwedleri”
“Legacy” Sugar Maple	<i>Acer saccharum</i> “Legacy”
“Legacy” Sugar Maple	<i>Acer saccharum</i> “Legacy”
European Black Alder	<i>Alnus glutinosa</i>
Hackberry	<i>Celtis occidentalis</i>
“Autumn Purple” White Ash	<i>Fraxinus Americana</i> “Autumn Purple”
“Rosehill” White Ash	<i>Fraxinus Americana</i> “Rosehill”
“Hessei” European Ash	<i>Fraxinus excelsior</i> “Hessei”
“Autumn Gold” Ginkgo	<i>Ginkgo biloba</i> “Autumn Gold”
“Lakeview” Ginkgo	<i>Ginkgo biloba</i> “Lakeview”
“Santa Cruz” Ginkgo	<i>Ginkgo biloba</i> “Santa Cruz”
Blue Ash	<i>Fraxinus quadrangulata</i>
“Moraine” Thornless Honeylocust	<i>Gleditsia triacanthos var. interis</i> “Moraine”
“Shademaster” Thornless Honeylocust	<i>Gleditsia triacanthos var. interis</i> “Shademaster”
Swamp White Oak	<i>Quercus bicolor</i>
Red Oak	<i>Quercus rubra</i>
“Redmond” Linden	<i>Tilia Americana</i> “Redmond”
Little Leaf Linden	<i>Tilia cordata</i>
Lacebark Elm	<i>Ulmus parvifolia</i>

- b. Only the following species of trees shall be planted in Village tree banks where the clear space between the curb and sidewalk is less than six (6) feet in width:

<u>Common Name</u>	<u>Botanical Name</u>
“Erectum” Norway Maple	<i>Acer platanoides</i> “Erectum”
“Columnare” Norway Maple	<i>Acer platanoides</i> “Columnare”
“Crimson Sentry” Norway Maple	<i>Acer platanoides</i> “Crimson Sentry”
“Bowhall” Red Maple	<i>Acer rubrum</i> “Bowhall”
“Columnare” Red Maple	<i>Acer rubrum</i> “Columnare”
“Mayfield” Ginkgo	<i>Ginkgo biloba</i> “Mayfield”
“Sentry” Ginkgo	<i>Ginkgo biloba</i> “Sentry”
“Chaticlear” Callery Pear	<i>Pyrus calleryana</i> “Chaticlear”
“Fastigata” American Linden	<i>Tilia americana</i> “Fastigata”
“Chancellor” Linden	<i>Tilia cordata</i> “Chancellor”
“Erecta” Linden	<i>Tilia x euchlora</i>

- c. Only the following species of trees shall be planted in Village tree banks with overhead utilities:

<u>Common Name</u>	<u>Botanical Name</u>
Amur Maple (tree form)	<i>Acer ginnala</i> (tree form)
Peking tree lilac (tree form)	<i>Syringa pekinensis</i> (tree form)
Corneliacherry Dogwood (tree form)	<i>Cornus mas</i> (tree form)
Blackhaw viburnum	<i>Viburnum prunifolium</i> (tree form)
Crabapples, only those <i>Malus</i> cultivars listed below:	
“Adams”	
“Bob White”	
“Candied Apple”	
“David”	
floribunda:	
“Liset”	
“Ormiston Roy”	
“Professor Sprenger”	
“Robinson”	
“Sugartyme” or “Milton Baron”	

- d. Tree species not listed in this Section may be permitted on a case-by-case basis upon written approval by the Village Engineer.
- e. In addition to invasive plants in the Chicago region, as identified by the Chicago Botanic Garden or the Morton Arboretum, none of the following species of trees shall be planted in thoroughfares: Poplar, Silver Maple, Box Elder, Chinese Elm, Black Locust, Russian Olive, Willow, Catalpa, Mulberry, Pin Oak, or any fruit trees, except those crabapple species specifically identified in this Section 7.3.7.B.3.

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7.3.8. TRAFFIC CONTROL AND STREET NAME SIGN STANDARDS AND SPECIFICATIONS. Traffic control and street name signs shall be provided by the subdivider/developer and shall be located so as to identify every street within the subdivision/ development. Said signs shall comply with the following:

- A. **TRAFFIC CONTROL SIGNS.** In all subdivisions/developments containing pavement markings and traffic control signs, such as speed limit, street name, stop, yield, etc., such signs shall conform to the “Manual of Uniform Traffic Control Devices.” The Village Engineer shall approve their type and location.
- B. **STREET NAME SIGNS.** Street name signs shall be posted at every intersection. Wherever possible, such signs shall be attached to street light poles and shall be attached with cantilever arm brackets and three quarters (3/4) inch stainless steel banding.
- C. High intensity facing shall be used for all street name signs and traffic control signs. Series C black reflective letters on a white background shall be used for all lettering.